

119 West First Street
Cle Elum, WA 98922
Telephone · (509) 674-2262
Fax · (509) 674-4097
www.cityofcleelum.com



Stamp & initial

Received 7/6/2020
by Lucy Temple via email

SITE AND DESIGN REVIEW APPLICATION

This application is required for most non-single family development within the city.

The purpose of this permit is to assist in regulating the grading, excavation and filling of land in order to minimize erosion and sedimentation of watercourses and wetlands, minimize the need for and maintenance of drainage facilities, minimize adverse effects on ground and surface waters, minimize their potential for earth slides and slippage, and maintain the maximum natural vegetation. See [CEMC 17.76](#) for additional information.

OFFICIAL USE ONLY

Permit #:	SDR-2020 -004
Staff Person:	Lucy Temple
Fee Total:	\$525.00
Related Permits:	PREAP, BLA

Applicant

Name: Kittitas Valley Healthcare, Kittitas County Public Hospital District #2

Mailing Address: 603 South Chestnut Street, Ellensburg, WA 98926

Phone Number: Office (509) 933-8625,
Cell (509) 961-9505

Email: rurlacher@kvhealthcare.org

Property Owner Same as Applicant ☒

Name:

Address:

Phone Number:

Email:

Project Information

Project Name: Ambulance Garage

Project Location Address: 111 Pine Street

Assessor's Parcel No. 484135

Zoning: Commercial

Description of project:

This project is for the construction of a new single story 8,500 SF ambulance garage and staff quarters building. (If eaves and soffits are included, 10,574SF). The building will be wood framed structure with a sloping metal roof. Exterior finishes will be cement based material in board and batten and shingle style siding with some areas using stone or masonry finishes.

Site improvements will occur within the approximately 1.53 acre project boundary including an ambulance driveway on the west side of the project site and also off-street parking area on the east side of the project site. This project will also include site improvements, natural gas, domestic water, fire water service, sewer service, electrical service, and landscaping.

Site and Design Review Application Criteria ¹		
1.	Written narrative description of-uses, types of structures proposed, hours of operation, abutting properties, proposed access, frequency of deliveries, and construction schedule, including any proposed phasing of development	
2.	Two hard copies and one electronic copy (PDF) of an existing conditions plan drawn to a minimum scale of one inch equals two hundred feet on a sheet no larger than twenty-four inches by thirty-six inches and including one reduced size copy no larger than legal size. The existing conditions plan shall contain the following features	
	a.	The subject property boundaries See Encompass Sheets 1-4 of 4.
	b.	Dimensions and size See Encompass Sheets 1-4 of 4.
	c.	Current structural or landscape setbacks See Encompass Sheets 1-4 of 4.
	d.	Location of existing on-site driveways and access points within one hundred feet of the subject site See Encompass Sheets 1-4 of 4, and See 04-23-20 G Earth view.
	e.	Location and dimension of any on-site structures See Encompass Sheets 1-4 of 4.
	f.	Location of utilities See Encompass Sheets 1-4 of 4.
	g.	Location of the nearest fire hydrant See Encompass Sheets 1-4 of 4.
	h.	Location of existing structures within one hundred feet of the site See 04-23-20 G Earth view.
	i.	Locations and dimensions of adjacent public or private roads and right-of-way or easements See Encompass Sheets 1-4 of 4.
	j.	Approximate location of significant natural features including slopes over twenty-five percent, waterbodies, rock outcrops, wetland areas, areas of significant vegetation, the location of trees or groups of trees over six inches in diameter, and the location of any critical areas See Encompass Sheets 1-4 of 4, and see 04-23-20 G Earth view.
3.	Two hard copies and one electronic copy (PDF) of a site plan drawn to a minimum scale of one inch equals two hundred feet on a sheet no larger than twenty-four inches by thirty-six inches and including one reduced size copy no larger than legal size. The site plan shall contain the following information:	
	a.	The subject property boundaries See Civil Sheets C3.0.
	b.	Dimensions and size See Civil Sheets C3.0.
	c.	Location See Civil Sheets C3.0.
	d.	Dimensions and height of all proposed structures See Architectural Sheets A4.1 and A4.2.
	e.	Location of building accesses See Civil Sheets C3.0, and Architectural Sheet A2.1.
	f.	Proposed setbacks See Civil Sheets C3.0.

Note: the site is to be logged by Owner prior to the Owner signing a construction contract for this building and site development.

	g.	Proposed phasing	No phasing.
	h.	Proposed landscaping	See Landscape Sheet.
	i.	Location and dimensions of vehicle and pedestrian access points and circulation routes	See Civil Sheets C3.0.
	j.	The location of all proposed on-site parking including provisions for handicap parking	See Civil Sheets C3.0.
	k.	Any easements	See Civil Sheet C5.0.
	l.	The location of any proposed lights, and any other proposed site improvements	
4.	Two hard copies and one electronic copy (PDF) of proposed architectural elevations.		See Arch Sheets
5.	Preliminary grading, erosion control and stormwater plan		See Civil Sheets C2.0, C2.1 and
6.	Preliminary utility plan		See Civil Sheet C5.0.
7.	Any other items that are necessary to review the proposed development		
8.	Payment of a fee that is consistent with the City of Cle Elum’s fee schedule		
Decision Criteria			
1.	In conducting the design review process, it shall be the responsibility of the planning director or designee to review designs for compliance with all the provisions of the zoning code and any other applicable regulations that affect the design of a development.		
2.	In reviewing design plans the planning director shall consider the following standards have been met. This section does not list all the standards against which the application will be reviewed, the following are listed to indicate the various requirements of development. Failure to comply with – the listed requirements or other requirements not listed here shall be ground for denial of design review approval.		
	a.	The proposed use is permitted within the zoning district in which it is located.	
	b.	The proposed design meets the dimensional requirements of the zoning district including lot, yard, building, height and other requirements.	
	c.	The proposed design meets landscaping, screening and buffering standards of CEMC 17.64 .	
	d.	The proposed design meets the off-street parking and loading requirements of CEMC 17.56 .	
	e.	The standards of CEMC 18.01 , maintenance, enhancement and preservation of critical areas are met.	
	f.	Public improvements are completed in compliance with applicable code sections.	
	g.	Adequate and safe provisions are made for pedestrian and vehicle access.	

See Electrical Sheet E0.1 for site lights.
Civil for other improvements.

See Architectural Sheets A4.1 and A4.2.

See Civil Sheets C2.0, C2.1 and C4.0.

See Civil Sheet C5.0.

See Architectural for exterior perspectives Sheet G0.5.

	h.	All conditions of applicable previous approvals (SEPA review, CUP, rezones) are met.
	i.	All applicable conditions and criteria found in other Cle Elum Municipal Code titles are met.
Authorization		
<p><i>The undersigned hereby certifies that this application has been made with the consent of the lawful property owner(s) and that all information submitted with this application is complete and correct. False statements, errors, and/or omissions may be sufficient for denial of the request. This application gives consent to the City to enter the properties listed above for the purposes of inspecting and verifying information presented in this application. The applicant further agrees to pay all fees specified in the City's fee schedule for the permit and expenses associated with the review of the application. The applicant gives consent to the City to enter the property(s) listed above for the purpose of inspecting and verifying information presented in this application.</i></p>		
Applicant Signature: Signed Application sent separately		Date:

1. The application will not be processed and deemed incomplete if not all required criteria is not attached to application on the day of submission. The Planner may chooses to wave some of the required criteria. If any of the required criteria is provided in another permit please cite that permit.



Principals

Rod Knipper, AIA
Dennis W. Dean, AIA
Brian J. Andringa, AIA

July 23, 2020

Lucy Temple
City of Cle Elum
119 West First Street
Cle Elum, WA 98922

Re: Kittitas County Public Hospital District #2 - Ambulance Garage
Project No. 201838

Dear Lucy:

This is the project's written narrative as requested on the Design Review Application.

This project is a new ambulance garage and crews' quarters for the Kittitas County Public Hospital District #2. The project is to be located at 111 Pine Street in Cle Elum, WA.

The project consists of the construction of a new single story 8,500 SF building. (If eaves and soffits are included, the area is 10,574 SF). The building will be wood framed structure with a sloping metal roof. Exterior finishes will be cement based material in board and batten and shingle style siding with some areas using stone or masonry finishes. The aesthetic intent of the building design and finishes is to establish and reinforce a campus "look" for the buildings on the campus.

Site improvements will occur within the approximately 1.53 acre project boundary including an ambulance driveway on the west side of the project site and also off-street parking area on the east side of the project site. This project will also include site improvements, natural gas, domestic water, fire water service, sewer service, electrical service, and landscaping.

Height of the building structure is 35'-1". (Refer to Exterior Elevation, Sheet A4.1 and A4.2) The facility will operate 24 hours a day 365 days a year. Ambulances will be dispatched from the facility to respond to emergency response calls as needed. Deliveries will occur for supplies primarily during business hours. Deliveries are to the door located on the northwest corner of the building, just to the north of the ambulance garage doors.

This project is adjacent to the existing KVH Family Medicine clinic to the east, the Hospice house to the north, single family and apartment buildings to the south across West Davis Street, a vacant lot and commercial development (McDonald's) across S Pine Street.

The project site is currently populated with numerous trees, and it is the intent of the property Owner to log the site prior to the Owner signing a construction contract for this building and site development. The logging of the site is to occur in August of this year, with construction starting approximately the beginning of September, and is expected to last approximately 9 – 10 months with completion occurring around May-June of 2021.

Lucy Temple
KDF Project No. 201838
07/23/2020
Page 2

There is no phasing associated with this project.

Sincerely,



Erik D. Dodge
Architect

V:\Projects\2018\201838 KCPH Dist 2 - Ambulance Garage\4.0 Project Information\4.7 Code & Permitting\4.7.8 Permits\Site And Design Review
Application\Written Project Narrative - Ambulance Garage.Docx





SITE KEY NOTES:

- 1 CONSTRUCT NEW ON-SITE AC PAVEMENT PER DETAIL 1 ON SHEET C7.0
- 2 CONSTRUCT NEW ON-SITE VERTICAL CONCRETE CURB AND SIDEWALK PER DETAIL 3 ON SHEET C7.0
- 3 CONSTRUCT NEW ON-SITE CONCRETE VERTICAL CURB PER DETAIL 5 ON SHEET C7.0
- 4 CONSTRUCT NEW ON-SITE CONCRETE SIDEWALK/PATIO PER DETAIL 2 ON SHEET C7.0
- 5 CONSTRUCT NEW ON-SITE CONCRETE SLAB PER DETAIL 4 ON SHEET C7.0
- 6 CONSTRUCT NEW EDGE OF PAVEMENT PER DETAIL 6 ON SHEET C7.0
- 7 CONSTRUCT NEW GRASSCRETE ACCESS DRIVE. GRASSCRETE SHALL BE GRASSPAVE2 FIRELANE BY INVISIBLE STRUCTURES OR APPROVED EQUIVALENT. GRASSPAVE2 SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. SUBBASE SHALL BE 10" THICK LAYER OF CRUSHED SURFACING TOP COURSE COMPACTED TO AT LEAST 95% MAXIMUM DENSITY PER ASTM D1557 IN MAXIMUM 6" LIFTS. NO GRASSCRETE EDGING IS PROPOSED.
- 8 CONSTRUCT NEW TRASH ENCLOSURE CONCRETE PAD PER DETAIL 4 ON SHEET C7.0. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION REGARDING THE TRASH ENCLOSURE.
- 9 PROVIDE AND INSTALL NEW ADA PARKING SIGN PER DETAIL 14 ON SHEET C7.0
- 10 PROVIDE AND INSTALL NEW CONCRETE OR RECYCLED RUBBER WHEEL STOP, TYP.
- 11 SAWCUT EXISTING AC PAVEMENT PER DETAIL 7 ON SHEET C7.0
- 12 NEW 4" WIDE PARKING STRIPES - WHITE REFLECTIVE PAINT, TYP.
- 13 CONSTRUCT CONCRETE MOW STRIP PER DETAIL 10 ON SHEET C7.0
- 14 PROVIDE AND INSTALL YELLOW COLOR TRUNCATED DOME TILES
- 15 CONSTRUCT NEW PUBLIC RIGHT-OF-WAY AC PAVEMENT RESIDENTIAL ROADWAY PER CITY STD DETAIL ST-1
- 16 CONSTRUCT NEW PUBLIC RIGHT-OF-WAY CONCRETE CURB AND GUTTER PER CITY STD DETAIL ST-2
- 17 CONSTRUCT NEW PUBLIC RIGHT-OF-WAY CONCRETE SIDEWALK PER CITY STD DETAILS ST-4 & ST-5
- 18 CONSTRUCT NEW CONCRETE DRIVEWAY APPROACH PER CITY STD DETAIL ST-6
- 19 EXISTING CURB, GUTTER AND SIDEWALK TO BE REMOVED. CONSTRUCT NEW CONCRETE COMMERCIAL DRIVEWAY APPROACH.
- 20 CONSTRUCT NEW CONCRETE CURB RAMP TYPE PARALLEL "A" PER WSDOT STD DETAIL F-40.12-03
- 21 CONSTRUCT NEW GRAVEL ACCESS ROAD PER DETAIL 8 ON SHEET C7.0, TYP.
- 22 CONSTRUCT AC PAVED ADA SIDEWALK TRANSITION
- 23 EXISTING DRIVEWAY ENTRANCE SHALL BE REMOVED. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK PER CITY STD DETAILS.
- 24 PROVIDE AND INSTALL NEW PARKING LOT LIGHT FIXTURE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 25 CONSTRUCT MIN. 1" WIDE CONCRETE CURB KNOCKOUT FOR DRAINAGE PURPOSES PER DETAIL 12 ON SHEET C7.0

SHEET NOTES:

1. REFER TO GENERAL PLAN NOTES ON SHEET C1.1.
2. REFER TO ARCHITECTURAL PLANS BY KDA ARCHITECTURE FOR NEW BUILDING INFORMATION AND DESIGN. DEMOLITION AND TREE REMOVAL INFORMATION, BUILDING ROOFS SHALL BE COATED WITH INERT, NON LEACHABLE MATERIALS.
3. CONTRACTOR SHALL COMPLY WITH MANUFACTURERS' INSTALLATION PROCEDURES AND RECOMMENDATIONS FOR CONSTRUCTION OF ALL IMPROVEMENTS.
4. GROUNDWATER IN THE VICINITY IS DEEP AND DEWATERING IS NOT EXPECTED. CONTRACTOR SHALL ADDRESS DEWATERING AS NECESSARY.
5. ELECTRICAL CONDUITS, TRANSFORMERS, VAULTS AND OTHER ELECTRICAL INFORMATION SHALL BE PREPARED BY THE ELECTRICAL CONSULTANT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
6. LANDSCAPE AND IRRIGATION DESIGN AND PLANS SHALL BE PREPARED BY THE LANDSCAPE ARCHITECT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. PARKING LOT LIGHTS ARE SHOWN FOR REFERENCE ONLY. PARKING LOT ILLUMINATION, INCLUDING LIGHT LOCATIONS AND TYPES, SHALL BE COORDINATED WITH THE ELECTRICAL CONSULTANT PRIOR TO CONSTRUCTION.
8. CONCRETE WORKS WITHIN PUBLIC RIGHT-OF-WAY AND ON-SITE SHALL CONSIST OF 4,500 PSI CONCRETE WITH 0.45 W/C RATIO, 6% AIR ENTRAINMENT, 3/4" MAX. AGGREGATE SIZE.
9. ADJUST THE SAWCUT LINE AS NECESSARY TO PROVIDE A MINIMUM 5' WIDE LANDSCAPE ISLAND OR SAWCUT ALONG THE NEXT CLOSEST PARKING STALL, WHICHEVER IS GREATER.

HATCH LEGEND:

- PROPOSED AC PAVEMENT HATCH (1) C7.0
- PROPOSED CONCRETE SURFACING HATCH (2) C7.0 (3) C7.0 (3) C7.0
- PROPOSED GRASSCRETE SURFACING HATCH
- PROPOSED GRAVEL SURFACING HATCH (8) C7.0
- PROPOSED LANDSCAPING HATCH - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION

TOPOGRAPHIC AND BOUNDARY NOTE:

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY ENCOMPASS ENGINEERING & SURVEYING, 407 SWIFTWATER BLVD, CLE ELUM, WA 98922, IN JULY 2018 AND PROVIDED TO LESLIE ENGINEERING ON OCTOBER 29, 2019. LESLIE ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF EXISTING INFORMATION SHOWN HEREON.

REVISION DATE

Transmitted electronic files (including BIM Models) are for use solely with respect to this project and are the sole property of KDA Architecture.

Electronic files are provided as a courtesy only. KDA Architecture in no way guarantees the accuracy or completeness of the data contained within the files. Furthermore, KDA Architecture assumes no liability for any errors or omissions in the data. Anyone using the information contained herein should consult the reviewed and approved hard copy drawings and/or issued revisions for the most current information available.



KDA ARCHITECTURE

1310 North 16th Avenue, Yelm, WA 98922
T 509 575 5408 F 509 433 0293
www.kdaarchitecture.com



Ambulance
Garage

KCPH District 2

505 Power Street
Cle Elum, WA 98922

DATE: 6/30/2020
SCALE: As Indicated
DRAWN: DH
JOB: 201838

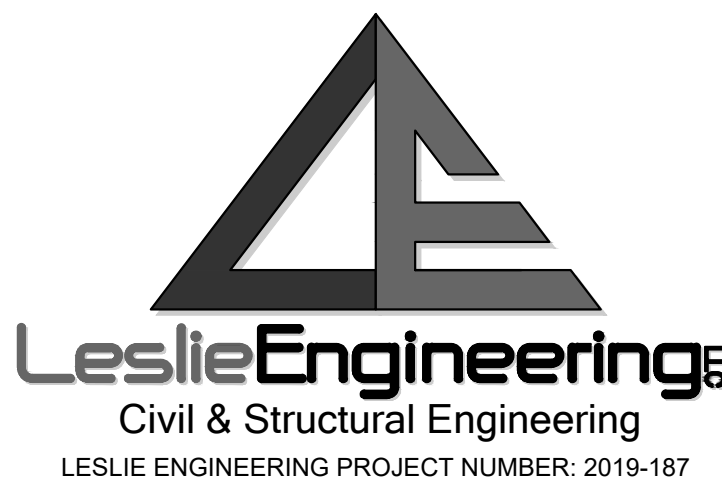
Site Layout
& Horizontal
Control Plan

SHEET:

C3.0



Know what's below.
Call before you dig.





EARTHWORK NOTES:

IMPORT = 0± CY
EXPORT = 0± CY
FILL = 1,153± C.Y.
CUT = 1,455± C.Y.
(IF ZERO, INDICATE 0)

1. THE EARTHWORK QUANTITIES SHOWN ARE PROVIDED FOR THE PERMITTING AND PLANNING PURPOSES ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CARRY OUT THE CUT/FILL, IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES SHOWN ON THE PLANS. CONTRACTOR IS TO DELIVER TO OWNER THE PROJECT IN A COMPLETE AND OPERATIONAL MANNER. EARTHWORK QUANTITIES SHOWN ON THE PLANS OR REPRESENTED BY THE ENGINEER ARE APPROXIMATE AND ARE FOR PERMITTING AND PLANNING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ANY INVESTIGATION OR STUDIES THAT ARE REQUIRED BY THE CONTRACTOR TO SATISFY THIS REQUIREMENT. NO ADDITIONAL COMPENSATION SHALL BE PAID FOR SAID CUT/FILL AND/OR IMPORT/EXPORT.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE ALL MATERIAL AND LABOR REQUIRED WITHIN THE BID PRICE, FOR EARTHWORK CONSTRUCTION, TO CARRY OUT THE CUT/FILL AND/OR IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES SHOWN ON THE PLANS. CONTRACTOR IS TO DELIVER TO OWNER THE PROJECT IN A COMPLETE AND OPERATIONAL MANNER. EARTHWORK QUANTITIES SHOWN ON THE PLANS OR REPRESENTED BY THE ENGINEER ARE APPROXIMATE AND ARE FOR PERMITTING AND PLANNING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ANY INVESTIGATION OR STUDIES THAT ARE REQUIRED BY THE CONTRACTOR TO SATISFY THIS REQUIREMENT. NO ADDITIONAL COMPENSATION SHALL BE PAID FOR SAID CUT/FILL AND/OR IMPORT/EXPORT.

SHEET NOTES:

1. REFER TO GENERAL PLAN NOTES ON SHEET C1.1.
2. REFER TO ARCHITECTURAL PLANS BY KDA ARCHITECTURE FOR NEW BUILDING INFORMATION AND DESIGN, DEMOLITION AND TREE REMOVAL INFORMATION. BUILDING ROOFS SHALL BE COATED WITH INERT, NON LEACHABLE MATERIALS.
3. CONTRACTOR SHALL COMPLY WITH MANUFACTURERS' INSTALLATION PROCEDURES AND RECOMMENDATIONS FOR CONSTRUCTION OF ALL IMPROVEMENTS.
4. GROUNDWATER IN THE VICINITY IS DEEP AND DEWATERING IS NOT EXPECTED. CONTRACTOR SHALL ADDRESS DEWATERING AS NECESSARY.
5. ELECTRICAL CONDUITS, TRANSFORMERS, VAULTS AND OTHER ELECTRICAL INFORMATION SHALL BE PREPARED BY THE ELECTRICAL CONSULTANT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
6. LANDSCAPE AND IRRIGATION DESIGN AND PLANS SHALL BE PREPARED BY THE LANDSCAPE ARCHITECT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. SEE SHEET C4.2 FOR ADDITIONAL STORMWATER MANAGEMENT FACILITY INFORMATION.

TOPOGRAPHIC AND BOUNDARY NOTE:

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY ENCOMPASS ENGINEERING & SURVEYING, 407 SWIFTWATER BLVD, CLE ELUM, WA 98922, IN JULY 2018 AND PROVIDED TO LESLIE ENGINEERING ON OCTOBER 29, 2019. LESLIE ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF EXISTING INFORMATION SHOWN HEREON.

REVISION	DATE

Transmitted electronic files (including BIM Models) are for use solely with respect to this project and are the sole property of KDA Architecture.

Electronic files are provided as a courtesy only. KDA Architecture in no way guarantees the accuracy or completeness of the data contained within the files. Furthermore, KDA Architecture assumes no liability for any errors or omissions in the data. Anyone using the information contained herein should consult the reviewed and approved hard copy drawings and/or issued revisions for the most current information available.



KDA ARCHITECTURE
1310 North 16th Avenue, Valina, WA 98922
T 509 573 5408 F 509 433 0293
www.kdaarchitecture.com



**Ambulance
Garage**

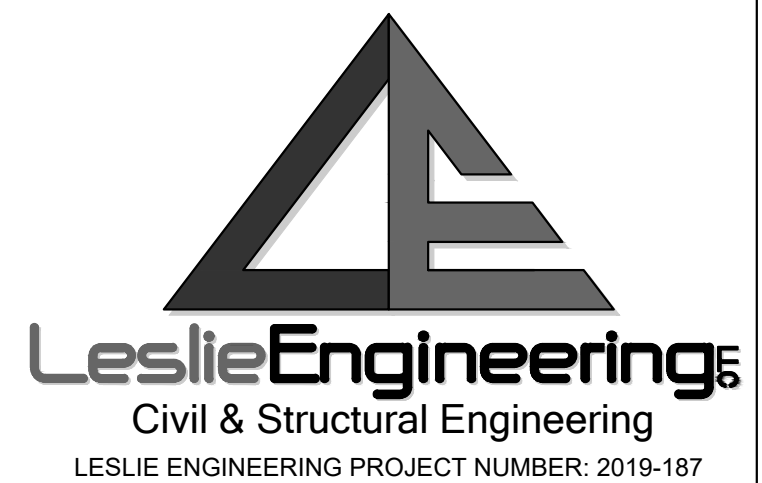
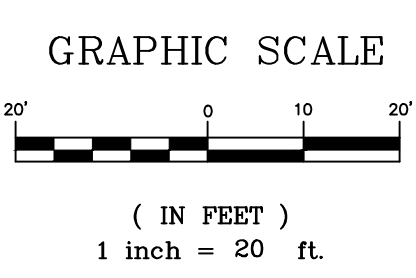
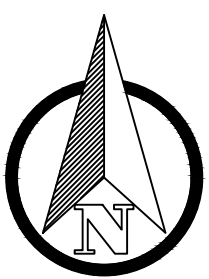
KCPH District 2

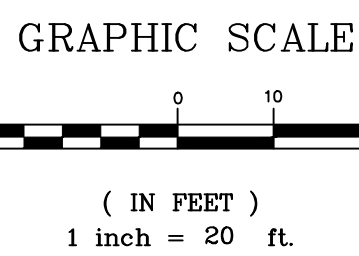
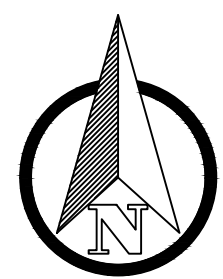
505 Power Street
Cle Elum, WA 98922

DATE: 6/30/2020
SCALE: As Indicated
DRAWN: DH
JOB: 201838

**Grading &
Drainage Plan**

SHEET:
C4.0





TOPOGRAPHIC AND BOUNDARY NOTE:

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY ENCOMPASS ENGINEERING & SURVEYING, 407 SWIFTWATER BLVD., CLE ELUM, WA 98922, IN JULY 2018 AND PROVIDED TO LESLIE ENGINEERING ON OCTOBER 29, 2019. LESLIE ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF EXISTING INFORMATION SHOWN HEREON.

SEWER KEY NOTES:

- 1 P.O.C. TO BLDG 4" SS SERVICE
4"IE=2007.50
SEE PLUMBING DWGS FOR CONTINUATION
- 2 13 LF~4" SS SERVICE @ S=5.0%
- 3 SSCO, RIM
4"IE=2006.85
- 4 13 LF~4" SS SERVICE @ S=5.0% MIN.

WATER KEY NOTES:

- 1 PROPOSED WATER METER BOX PER CITY OF CLE ELUM STANDARDS. WATER METER SHALL BE PROVIDED AND INSTALLED BY CITY OF CLE ELUM.
- 2 POINT OF CONNECTION TO PROPOSED BUILDING PLUMBING (DOMESTIC AND FIRE WATER AND FDC SERVICE) AT PROPOSED MECHANICAL ROOM. SEE SHEET NOTE B.
- 3 PROVIDE AND INSTALL:
1-6" 90° BEND (M&MJ) W/RESTRAINED JOINTS
- 4 6 LF~6" PVC C900 DR-18 FIRE WATER SERVICE W/RESTRAINED JOINTS
- 5 3 LF~4" PVC C900 DR-18 FDC SERVICE W/RESTRAINED JOINTS
- 6 PROVIDE AND INSTALL:
1-4" 90° BEND (M&MJ) W/RESTRAINED JOINTS
- 7 65 LF~4" PVC C900 DR-18 FDC SERVICE W/RESTRAINED JOINTS

SHEET NOTES:

1. REFER TO GENERAL PLAN NOTES ON SHEET C1.1.
2. REFER TO ARCHITECTURAL PLANS BY KDA ARCHITECTURE FOR NEW BUILDING INFORMATION AND DESIGN, DEMOLITION AND TREE REMOVAL INFORMATION. BUILDING ROOFS SHALL BE COATED WITH INERT, NON LEACHABLE MATERIALS.
3. CONTRACTOR SHALL COMPLY WITH MANUFACTURERS' INSTALLATION PROCEDURES AND RECOMMENDATIONS FOR CONSTRUCTION OF ALL IMPROVEMENTS.
4. GROUNDWATER IN THE VICINITY IS DEEP AND DEWATERING IS NOT EXPECTED. CONTRACTOR SHALL ADDRESS DEWATERING AS NECESSARY.
5. ELECTRICAL CONDUITS, TRANSFORMERS, VAULTS AND OTHER ELECTRICAL INFORMATION SHALL BE PREPARED BY THE ELECTRICAL CONSULTANT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
6. LANDSCAPE AND IRRIGATION DESIGN AND PLANS SHALL BE PREPARED BY THE LANDSCAPE ARCHITECT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. CONTRACTOR SHALL POTHOLE AND VERIFY THE LOCATION AND DEPTH OF EXISTING SANITARY SEWER SERVICE PIPE PRIOR TO CONSTRUCTING THE PROPOSED ON-SITE STORM DRAIN SYSTEM TO ENSURE THAT APPROPRIATE CLEARANCES CAN BE MAINTAINED.
8. FIRE RISER AND DETECTOR CHECK VALVE FOR THE FIRE WATER SERVICE AND BACKFLOW PREVENTOR FOR THE DOMESTIC WATER SERVICE ARE LOCATED IN THE MECHANICAL ROOM WITHIN THE NEW BUILDING. SEE PLUMBING/MECHANICAL PLANS FOR ADDITIONAL INFORMATION AND CONTINUATION.

REVISION	DATE

Transmitted electronic files (including BIM Models) are for use solely with respect to this project and are the sole property of KDA Architecture.

Electronic files are provided as a courtesy only. KDA Architecture in no way guarantees the accuracy or completeness of the data contained within the files. Furthermore, KDA Architecture assumes no liability for any errors or omissions in the data. Anyone using the information contained herein should consult the reviewed and approved hard copy drawings and/or issued revisions for the most current information available.



KDA ARCHITECTURE

1310 North 16th Avenue, Yakima, WA 98902
T 509 575 5408 F 509 433 0293
www.kdaarchitecture.com



**Ambulance
Garage**

KCPH District 2

505 Power Street
Cle Elum, WA 98922

DATE: 6/30/2020
SCALE: As Indicated
DRAWN: DH
JOB: 201838

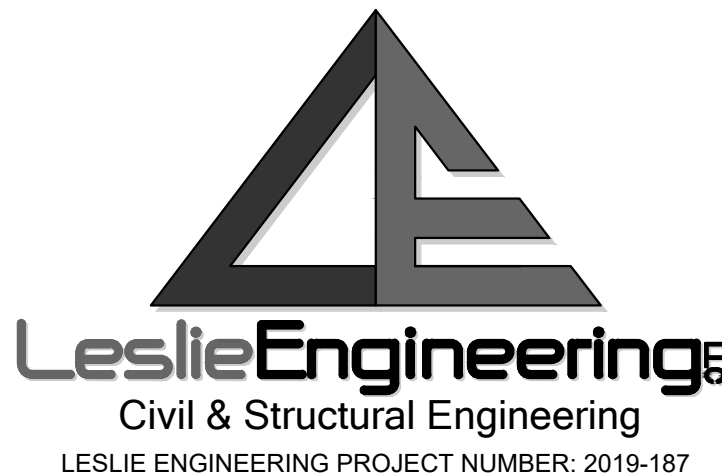
Utility Plan

SHEET:

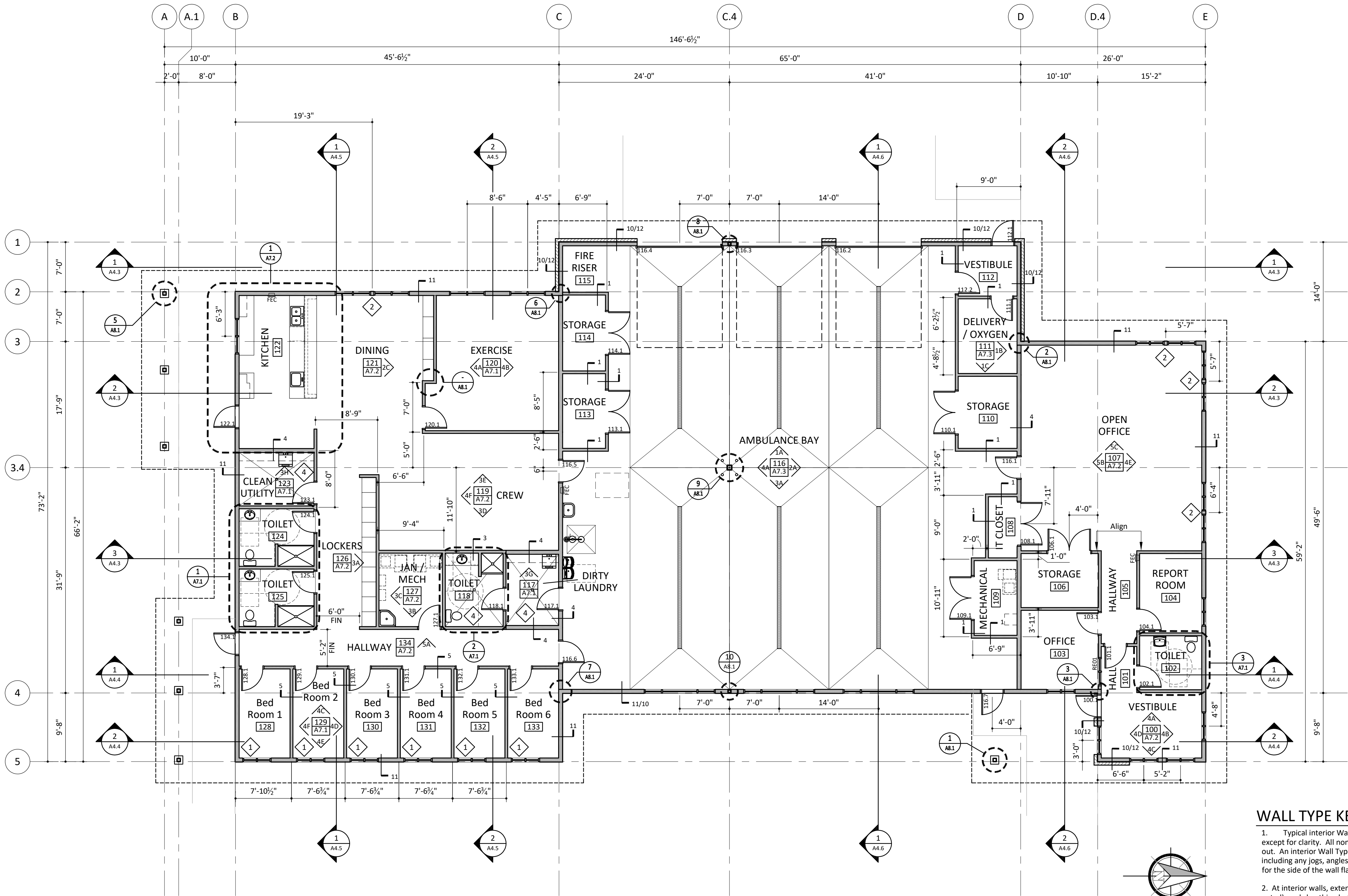
C5.0



Know what's below.
Call before you dig.



V:\Projects\2018\201838 KCPH Dist 2 - Ambulance Garage\6.0 Drawings\6.1 Architectural\6.1.3 CAD\6.1.3.5 Construction Documents\Monson Final\A201.dwg (D Sheet) Jul 14, 2020 - 8:00am By: ronderson



1 Floor Plan
A2.1

1/8" = 1'-0"

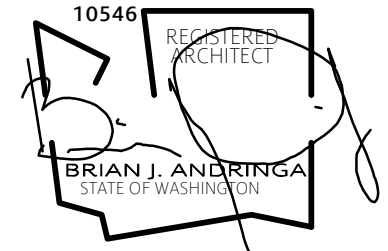
MATERIAL KEYNOTES

SHEET KEYNOTES

- 1 Windows in Bed Rooms are to be installed 6" off east walls. Typical in each bedroom.
- 2 Grouped windows to be centered on given dimension. See Detail 9/A8.3.
- 3 Door centered on Gridline 3.4.
- 4 Slope floor to floor drain.

REVISION	DATE

These drawings are the sole property of KDA Architecture and may not be reproduced without permission.



SHEET NOTES

KDA ARCHITECTURE

1110 North 14th Avenue, Suite 100, WA 98022
1206 375 5400 509 831 0292
www.kdaarchitecture.com



Ambulance
Garage

KCPH District 2

Cle Elum, WA 98922

DATE: 06/30/20

SCALE: 1/8" = 1'-0"

DRAWN: RHM

JOB: 201838

Floor Plan

SHEET:

A2.1

WALL TYPE KEY

- Typical interior Wall Type "3" is not flagged except for clarity. All non-typical walls are called out. An interior Wall Type continues the full length, including any jogs, angles, recesses, or stub walls for the side of the wall flagged.
- At interior walls, extend studs, insulation (where noted), and sheathing bottom of roof trusses. Cut and fit all walls tight to beams, cuts, pipes, and other objects.
- All exterior framed walls to receive vapor barrier on interior side of framing.
- At walls with insulation, continue insulation full height of wall, UNO.
- All stud framing and furring 16" O.C. UNO.

WALL TYPE KEY
Symbol Indicates Fill
(No Symbol= No Fill)
Number Indicates Wall Type

(E) Existing

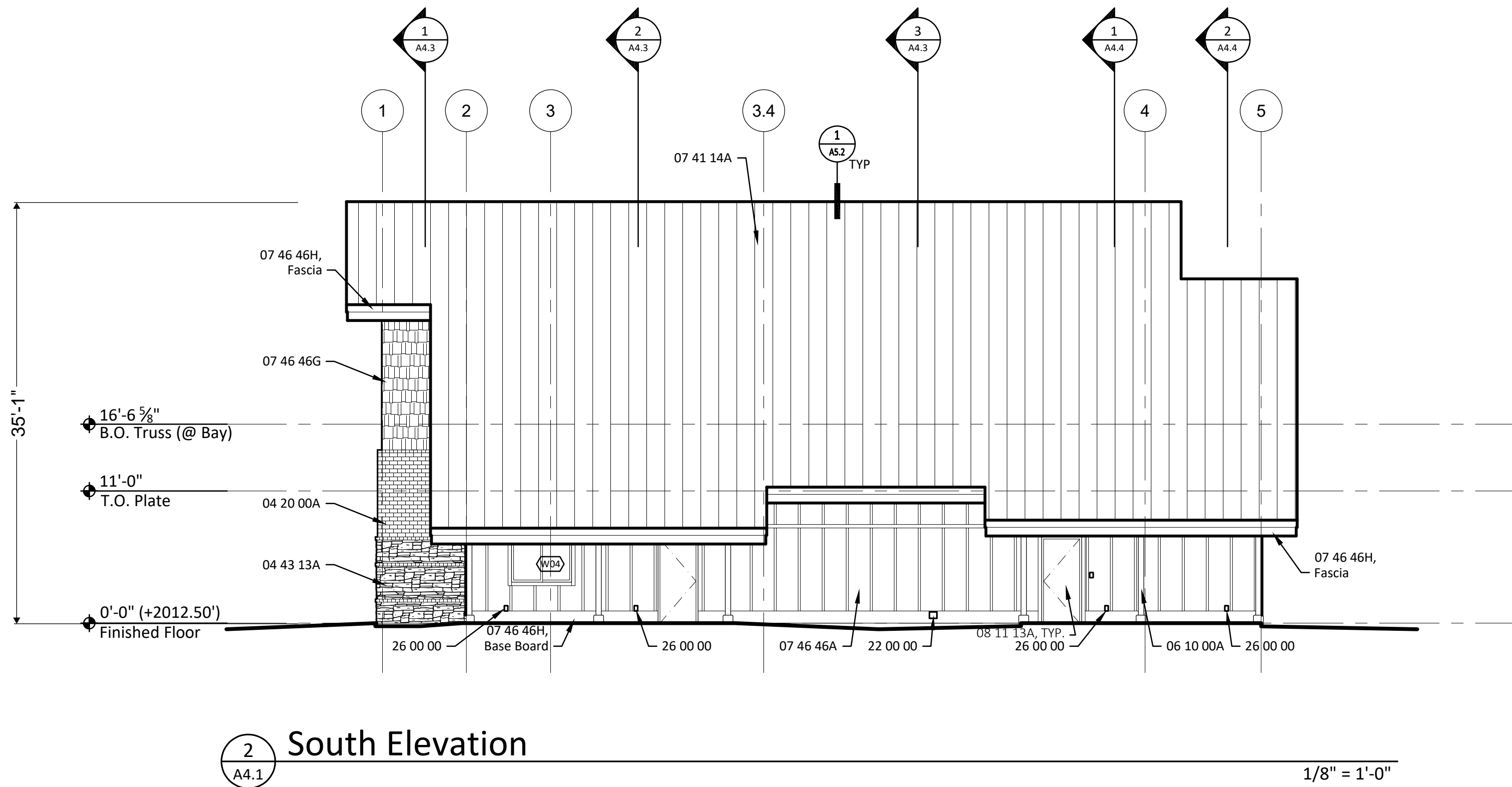
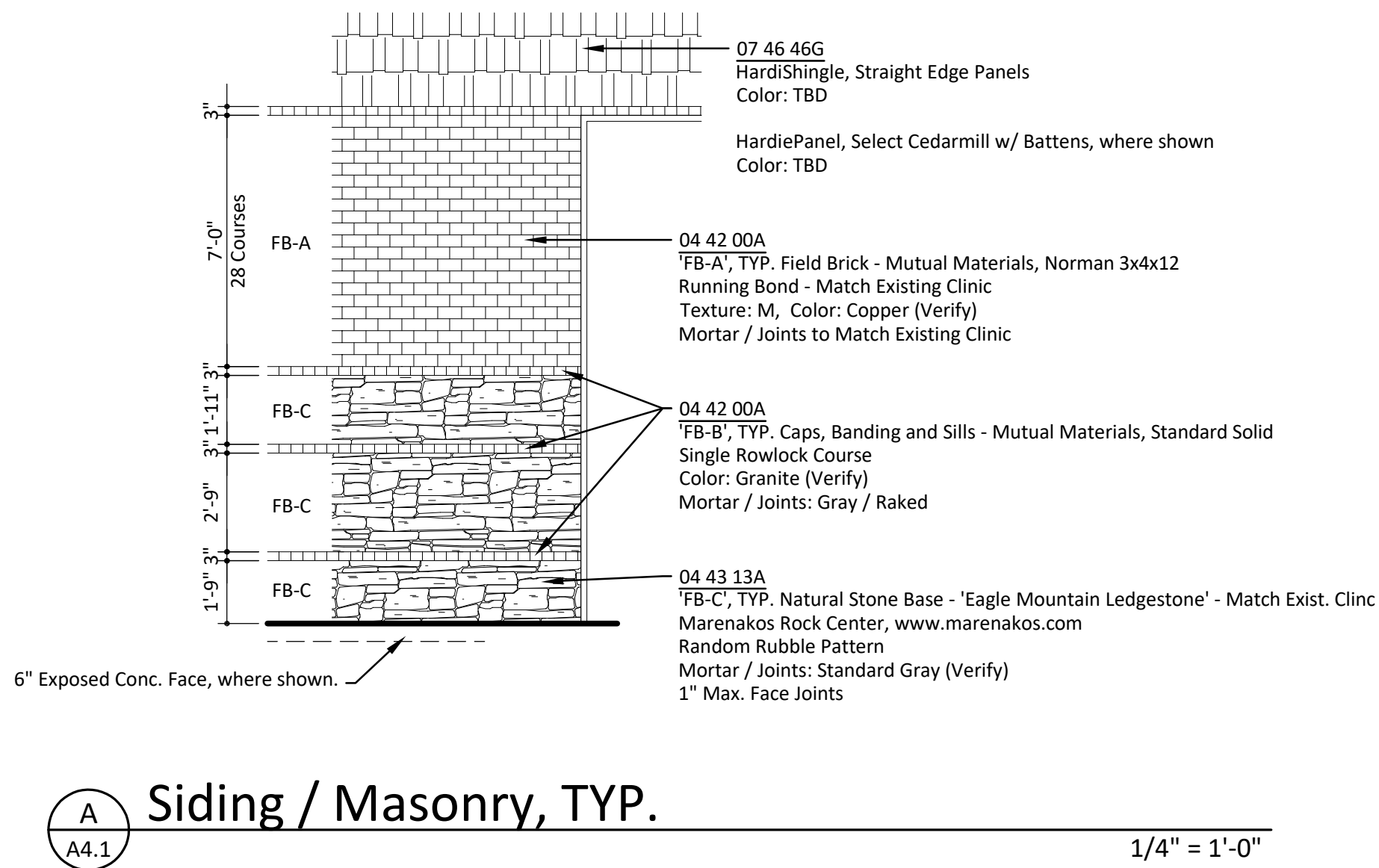
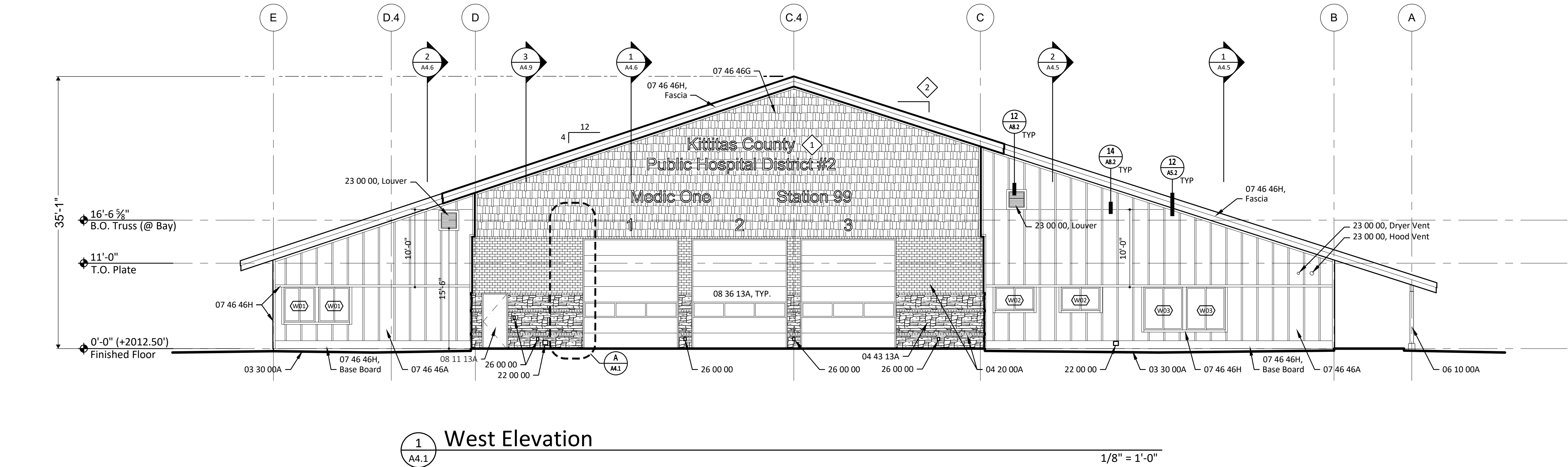
INTERIOR WALL TYPES
See G0.2 for description of wall types.

- Type 1 - Interior (2x4) Partition
- Type 2 - Interior (2x6) Partition
- Type 3 - Acoustic (2x4) Interior Partition
- Type 4 - Acoustic (2x6) Interior Partition
- Type 5 - 1 Hour Rated

EXTERIOR WALL TYPES
See G0.2 for description of wall types.

- Type 10 - Exterior HardShingle
- Type 11 - Exterior Board and Batten
- Type 12 - Anchored Stone Veneer

V:\Projects\2018\201838 KCPH Dist 2 - Ambulance Garage\6.0 Drawings\6.1 Architectural\6.1.3 CAD\6.1.3.5 Construction Documents\Monson Final\A4.1.dwg (D Sheet) Jul 14, 2020 - 8:02am By: ronderson

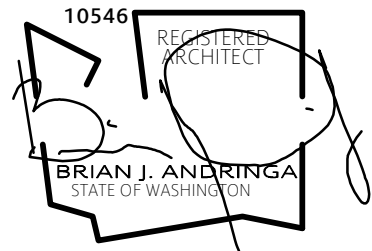


MATERIAL KEYNOTES

- 03 30 00 Cast-In-Place Concrete
A CIP Concrete
- 04 20 00 Unit Masonry
A Clay Faced Brick
- 04 43 13 Anchored Stone Masonry Veneer
A Anchored Stone Masonry Veneer
- 06 18 00 Glued-Laminated Construction
A Structural Glued-Laminated Timber
- 07 41 14 Standing-Seam Metal Roofing
A Standing-Seam Metal Roof Panels
F Flashing & Trim
- 07 46 46 Fiber Cement Siding
A Fiber Cement Siding
G Shake Panels
H Trim
- 08 11 13 Hollow Metal Doors and Frames
A Hollow Metal Doors
- 08 36 13 Sectional Doors
A Sectional Doors
- 22 00 00 Refer to Plumbing
- 23 00 00 Refer to HVAC
- 26 00 00 Refer to Electrical

REVISION	DATE

These drawings are the sole property of KDA Architecture and may not be reproduced without permission.



SHEET KEYNOTES

- 1 Signage to be provided by Owner. Coordinate placement and electrical requirements.
- 2 Slope on south side of building is to be calculated based on height of ridge and top plate elevations. Slope will be slightly less than 4:12 pitch.

SHEET NOTES

1. All exposed concrete to have a light, sandblasted texture.

KDA ARCHITECTURE

1315 North 14th Avenue, Yakima, WA 98902
1509.575.5408 509.837.0291
www.kdaarchitecture.com



Ambulance
Garage

KCPH District 2

Cle Elum, WA 98922

DATE: 06/30/20

SCALE: As Noted

DRAWN: RHM

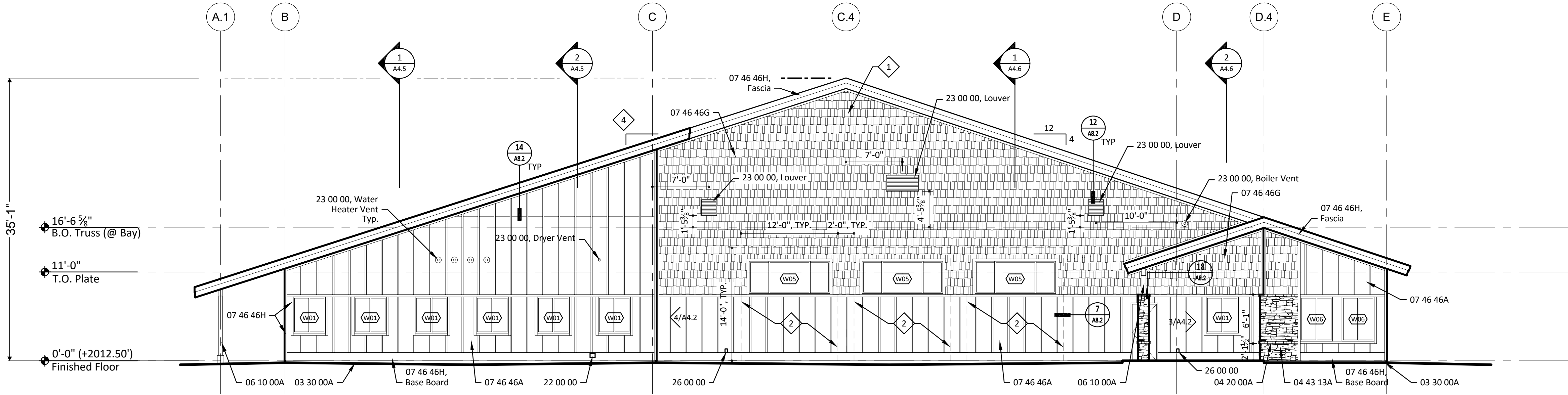
JOB: 201838

Exterior
Elevations

SHEET:

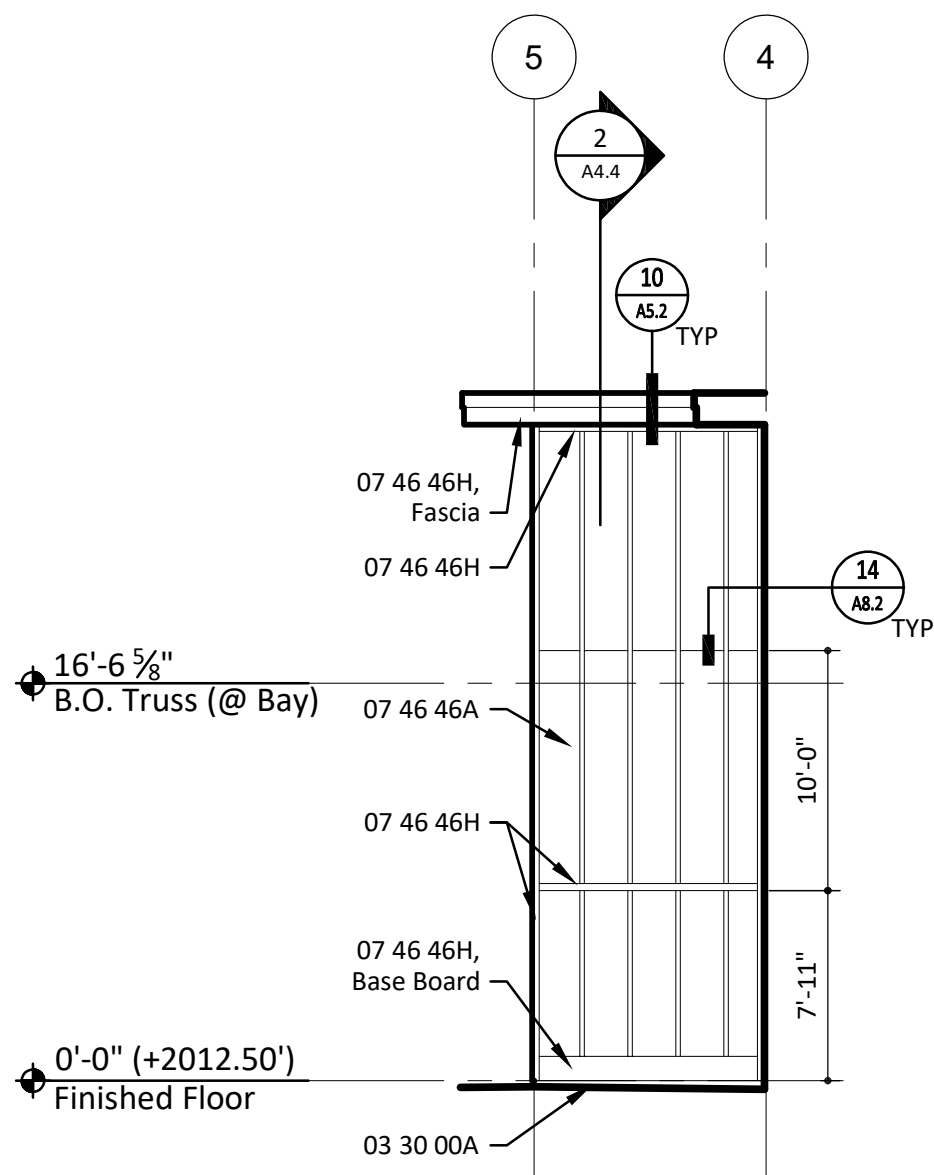
A4.1

V:\Projects\2018\201838 KCPH Dist. 2 - Ambulance Garage\6.0 Drawings\6.1 Architectural\6.1.3 CAD\6.1.3.5 Construction Documents\Monson Final\A402.dwg (D Sheet) Jul 14, 2020 - 8:02am By: ronderson



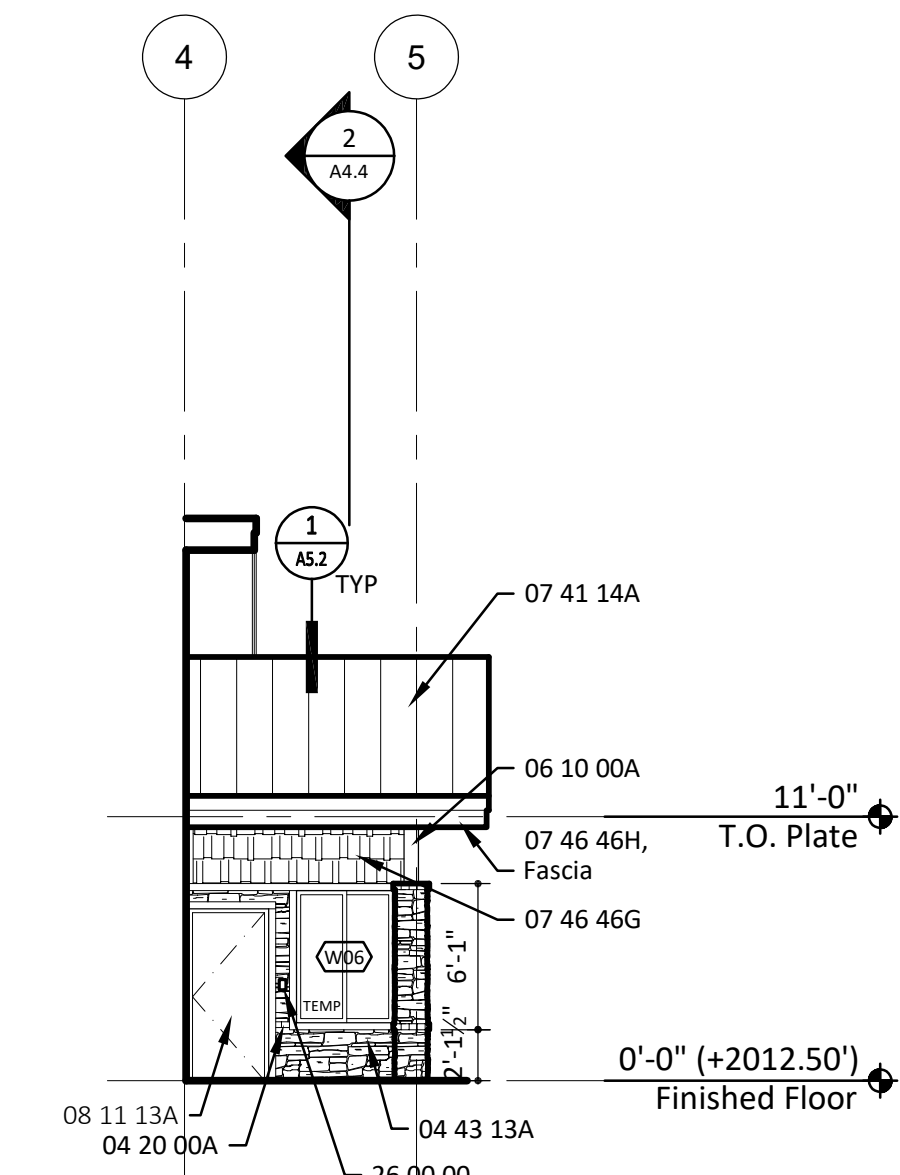
1 East Elevation
A4.2

1/8" = 1'-0"



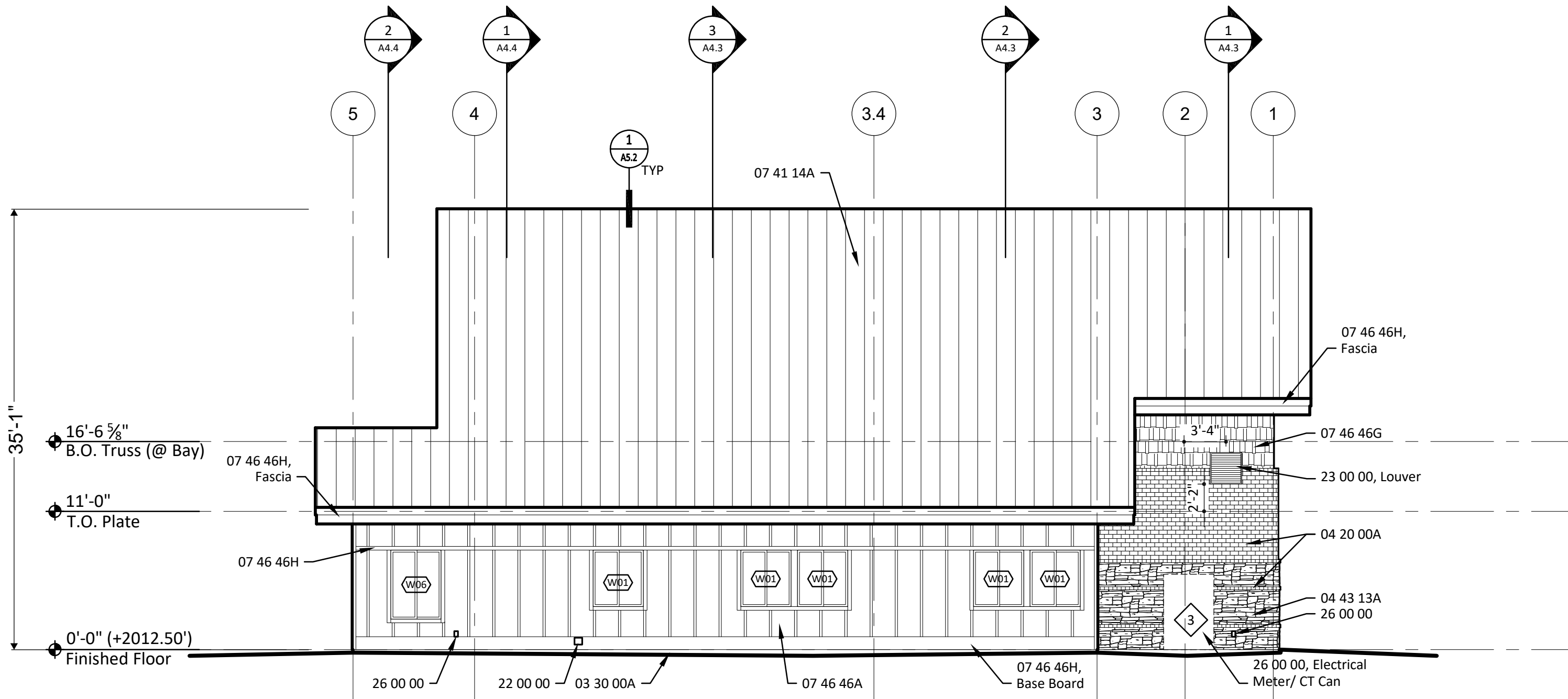
4 North Elevation
A4.2

1/8" = 1'-0"



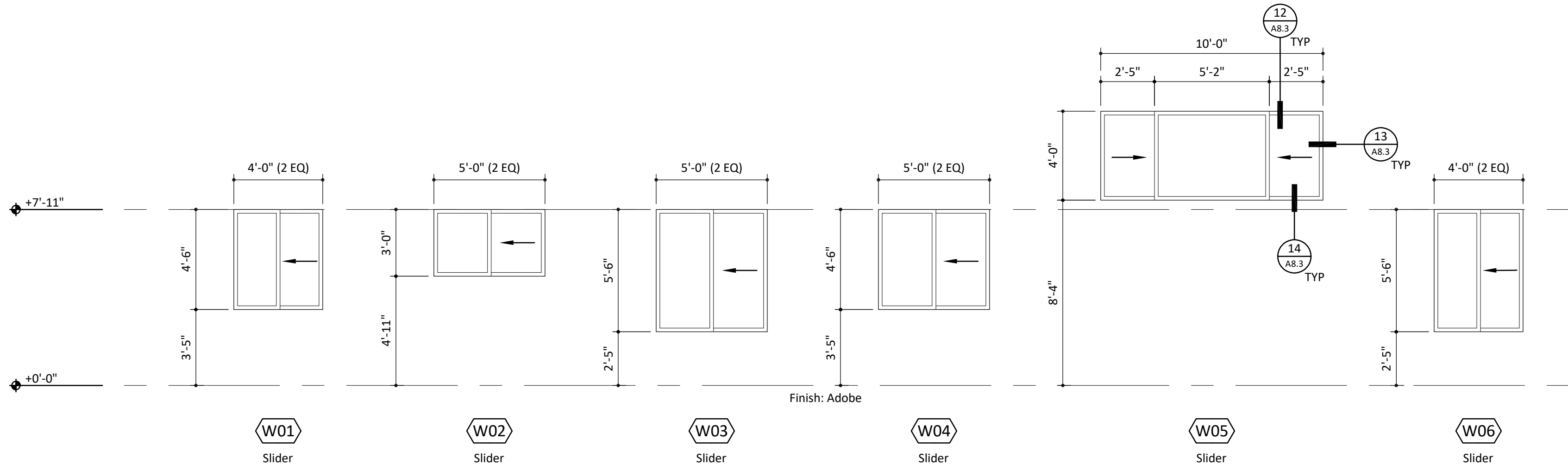
3 South Elevation
A4.2

1/8" = 1'-0"



2 North Elevation
A4.2

1/8" = 1'-0"



Window Types

1/4" = 1'-0"

MATERIAL KEYNOTES

- 03 30 00 Cast-In-Place Concrete
 - A CIP Concrete
- 04 20 00 Unit Masonry
 - A Clay Faced Brick
- 04 43 13 Anchored Stone Masonry Veneer
 - A Anchored Stone Masonry Veneer
- 06 18 00 Glued-Laminated Construction
 - A Structural Glued-Laminated Timber
- 07 41 14 Standing-Seam Metal Roofing
 - A Standing-Seam Metal Roof Panels
 - F Flashing & Trim
- 07 46 46 Fiber Cement Siding
 - A Fiber Cement Siding
 - G Shake Panels
 - H Trim
- 08 11 13 Hollow Metal Doors and Frames
 - A Hollow Metal Doors
- 08 36 13 Sectional Doors
 - A Sectional Doors
- 22 00 00 Refer to Plumbing
- 23 00 00 Refer to HVAC
- 26 00 00 Refer to Electrical

SHEET KEYNOTES

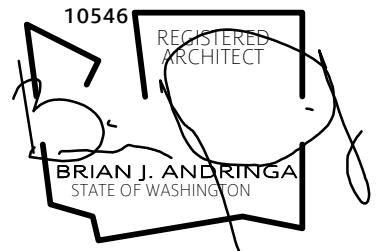
- 1 Radio antenna this area, contractor to provide blocking & conduit to IT closet. Contractor to coordinate with Owner for exact location & blocking requirements.
- 2 Frame out wall for future overhead door opening.
- 3 Coordinate masonry layout with electrical equipment.
- 4 Slope on south side of building is to be calculated based on height of ridge and top plate elevations. Slope will be slightly less than 4:12 pitch.

SHEET NOTES

- 1. All exposed concrete to have a light, sandblasted texture.

REVISION	DATE

These drawings are the sole property of KDA Architecture and may not be reproduced without permission.



KDA ARCHITECTURE



Ambulance
Garage

KCPH District 2

Cle Elum, WA 98922

DATE: 06/30/20

SCALE: As Noted

DRAWN: RHM

JOB: 201838

Exterior
Elevations

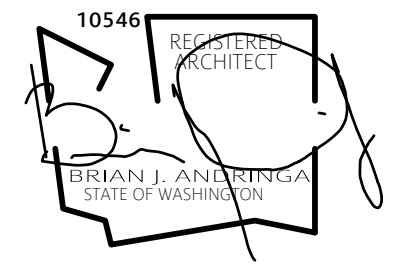
SHEET:

A4.2



REVISION	DATE

These drawings are the sole property of KDA Architecture and may not be reproduced without permission.



KDA ARCHITECTURE

1310 North 16th Avenue, Yelm, WA 98902
509.937.3488 509.937.0393
www.kdaarchitecture.com



**Ambulance
Garage**

KCPH District 2

Cle Elum, WA 98922

DATE: 06/30/20
SCALE: None
DRAWN: KA
JOB: 201838

Exterior
Elevations

SHEET:
G0.5

KITTITAS VALLEY FAMILY MEDICINE CLE ELUM

A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 27, T. 20 N., R. 15 E., W.M.
KITTITAS COUNTY, STATE OF WASHINGTON



DATUM:

1. BEARINGS ARE REFERENCED TO THE WASHINGTON STATE PLANE COORDINATE SYSTEM (SOUTH ZONE), N.A.D. 83 (11). ALL DISTANCES SHOWN HEREON ARE GROUND SCALE BASED ON A COMBINED SCALE FACTOR (CSF) OF 0.9998781, MULTIPLY CSF BY GROUND DISTANCE TO OBTAIN GRID DISTANCES.

2. THE VERTICAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88) BASED ON AN OFFSITE NGS SURVEY MARK, DESIGNATED "HOSPITAL RESET" (PID: SX1037). ELEVATION = 2007.46'

CONTOUR INTERVAL: MINOR = 1.00 FT., MAJOR = 5.00 FT.

NOTES:

1. THE PURPOSE OF THIS SURVEY IS TO IDENTIFY THE BOUNDARY LINES, BUILDING AND THE TOPOGRAPHY OF THE SUBJECT PROPERTY.

2. THIS SURVEY WAS PERFORMED USING TRIMBLE R8 MODEL 2 GNSS RECEIVERS AND A TRIMBLE S7, 3" TOTAL STATION WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS STANDARDS PER WAC 332-130-090.

3. THIS SURVEY WAS PERFORMED USING INFORMATION CONTAINED IN TITLE REPORT POLICY NO. 72156-463036008 OF CHICAGO TITLE INSURANCE COMPANY, ISSUED JUNE 7, 2018 AND IS SUBJECT TO THE LIMITATIONS OF THAT CERTIFICATE.

4. FOR CORNER DOCUMENTATION AND ADDITIONAL SURVEY INFORMATION, SEE THE FOLLOWING PLATS & SURVEYS OF RECORD AND THE SURVEYS REFERENCED THEREON:
• BOOK 3 OF PLATS PAGE 3
• BOOK 16 OF SURVEYS, PAGE 173, AFN: 532909

5. THE FIELD WORK FOR THIS SURVEY WAS COMPLETED ON JUNE 28, 2018, AND JUNE 24, 2020.

LEGAL DESCRIPTION:

ALL OF BLOCK 5, AMENDED PLAT OF ROSLYN ADDITION TO THE CITY OF CLE ELUM, KITTITAS COUNTY, WASHINGTON STATE, PER PLAT RECORDED IN BOOK 3, PAGE 3, OF KITTITAS COUNTY BOOK OF PLATS;

LOTS 1 THROUGH 13 INCLUSIVE OF BLOCK 9, ROSLYN 2ND ADDITION TO CLE ELUM, KITTITAS COUNTY, WASHINGTON STATE, PER PLAT RECORDED IN BOOK 3, PAGE 3, OF KITTITAS COUNTY BOOK OF PLATS;

A PORTION OF VACATED ALLEY, AS VACATED BY THE CITY OF CLE ELUM ORDINANCE NO. 1370, RECORDED AUGUST 17, 2012, UNDER AUDITOR'S FILE NO. 201208170014;

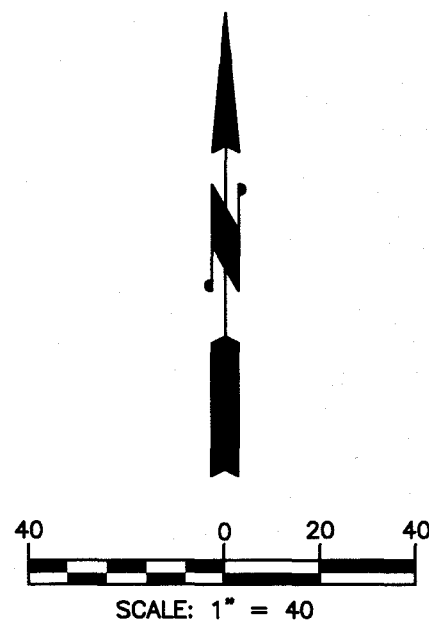
THE EASTERLY ONE-HALF OF THAT PART OF WEST YAKIMA AVENUE BOUNDED ON THE WEST BY BLOCK 9 OF ROSLYN 2ND ADDITION TO CLE ELUM, ON THE EAST BY BLOCK 5 OF ROSLYN ADDITION TO THE CITY OF CLE ELUM, ON THE NORTH BY POWER STREET, AND ON THE SOUTH BY DAVIS STREET, AS VACATED BY THE CITY OF CLE ELUM ORDINANCE NO. 600, ADOPTED NOVEMBER 8, 1965.

PARCEL INFORMATION:

PARCEL NOS.: 474135, 484135, 074035, 504135, & 064035

ADDRESS:

505 POWER STREET
CLE ELUM, WA 98922



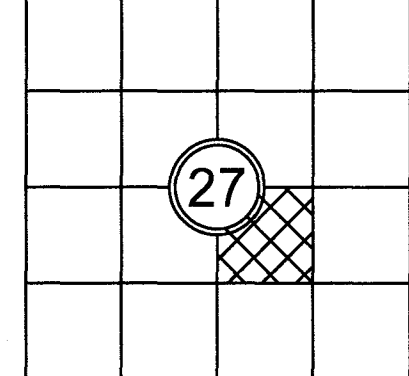
MONUMENT LEGEND

- FOUND AXLE
- FOUND IRON ROD & CAP
- IR FOUND IRON ROD, NO CAP
- IP FOUND IRON PIPE

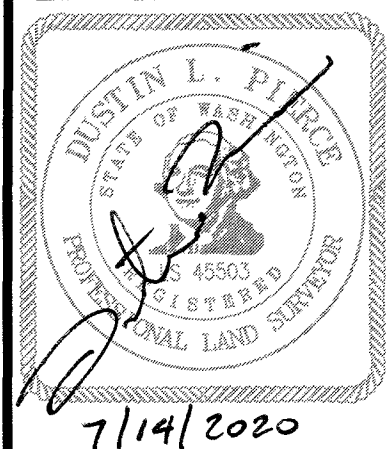
A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, ENCOMPASS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.



INDEX LOCATION
SEC. 27 T. 20N R. 15E W.M.



REVISIONS	DESCRIPTION	BY	DATE



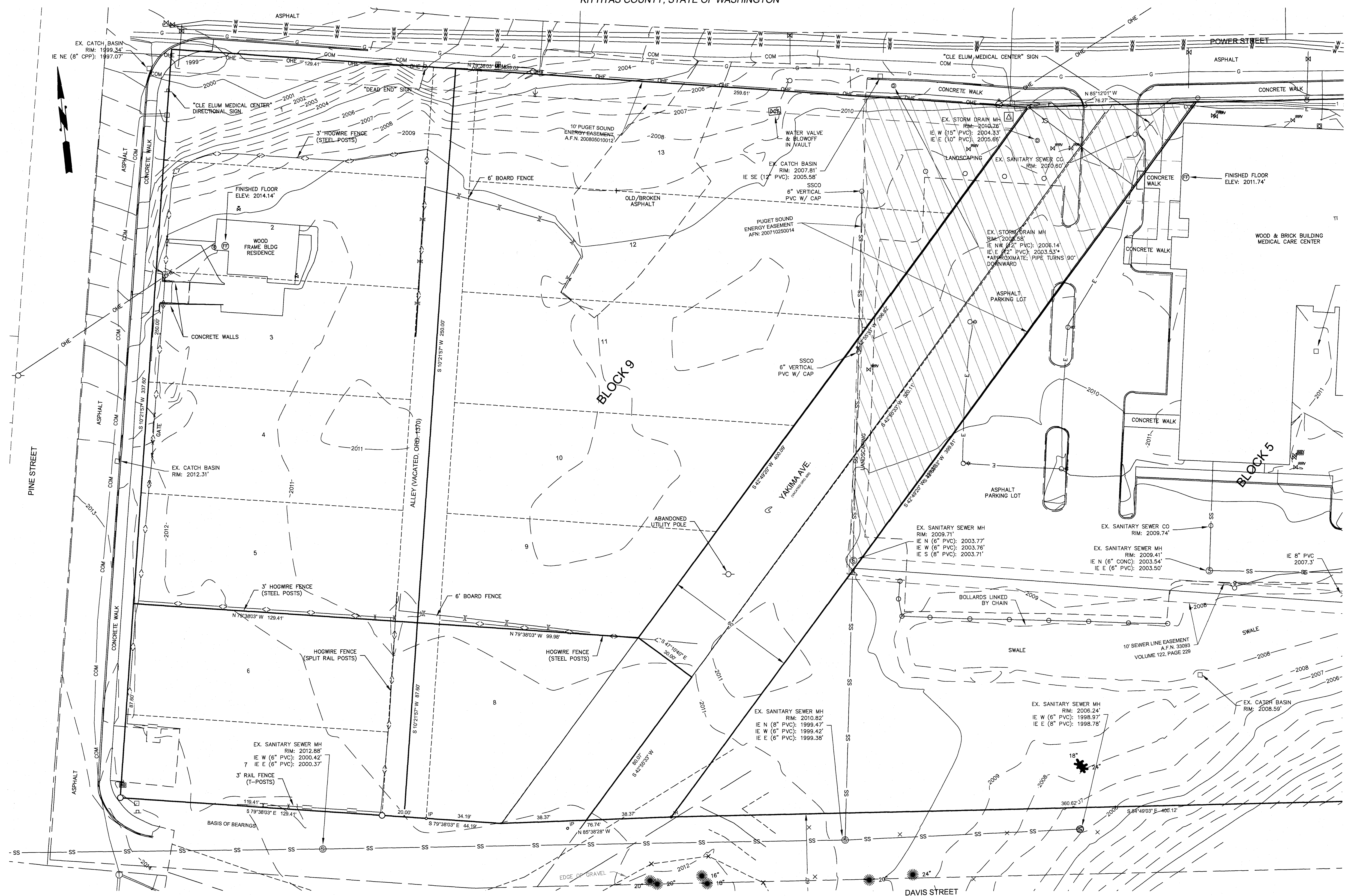
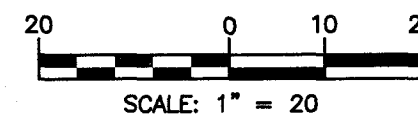
KITTITAS COUNTY HOSPITAL DISTRICT #2
BOUNDARY AND TOPOGRAPHIC SURVEY

Encompass
ENGINEERING & SURVEYING

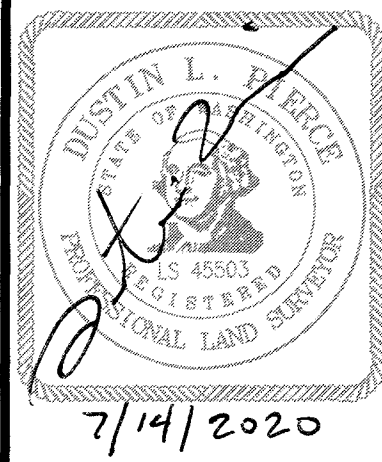
Western Washington Division
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0230 • Fax: (425) 391-3055
Eastern Washington Division
407 Sullivan Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

JOB NO.	18092
DATE	07/14/2020
SCALE	1" = 40'
DESIGNED	
DRAWN	EFG/DLP
CHECKED	DLP
APPROVED	DLP
SHEET	1 OF 4

KITTITAS VALLEY FAMILY MEDICINE CLE ELUM
A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 27, T. 20 N., R. 15 E., W.M.
KITTITAS COUNTY, STATE OF WASHINGTON



REVISIONS	
DESCRIPTION	DATE

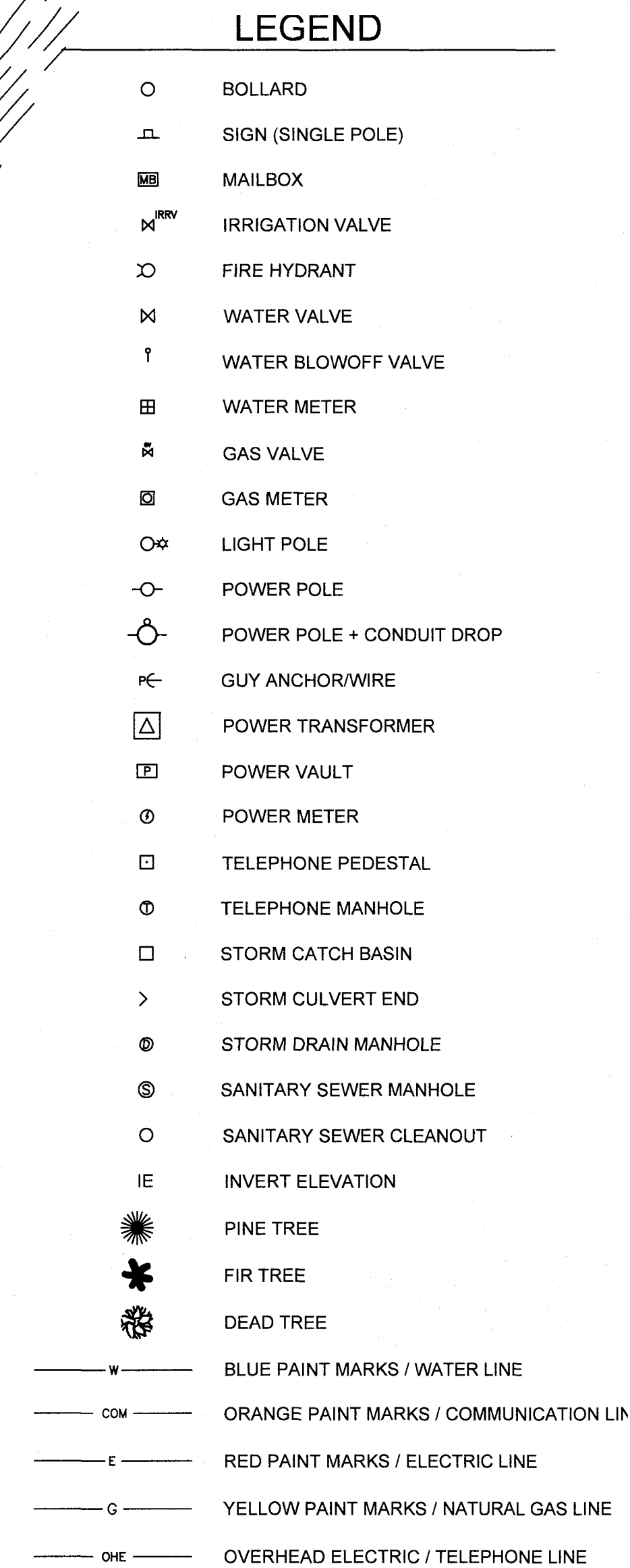
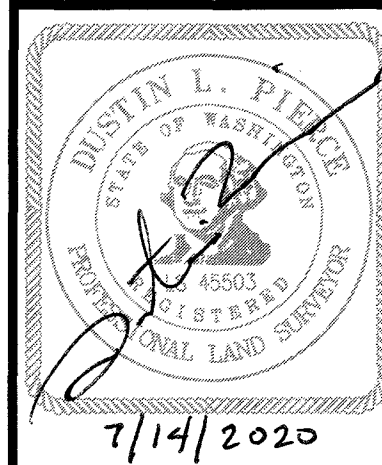


KITTITAS COUNTY HOSPITAL DISTRICT #2
BOUNDARY AND TOPOGRAPHIC SURVEY

Encompass
ENGINEERING & SURVEYING
Western Washington Division
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0230 • Fax: (425) 391-3055
Eastern Washington Division
407 Swiftwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

JOB NO.	18092
DATE	07/14/2020
SCALE	1" = 20'
DESIGNED	
DRAWN	EFG/DLP
CHECKED	DLP
APPROVED	DLP
SHEET	2 OF 4

A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 27, T. 20 N., R. 15 E., W.M.
KITTITAS COUNTY, STATE OF WASHINGTON

[illegible]

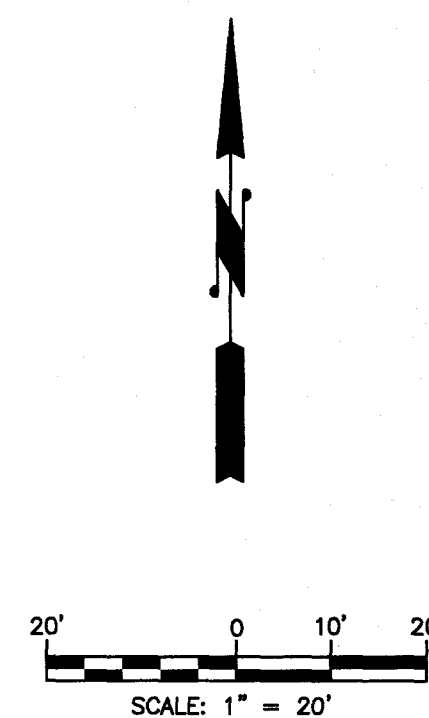
KITTITAS COUNTY HOSPITAL DISTRICT #2
BOUNDARY AND TOPOGRAPHIC SURVEY



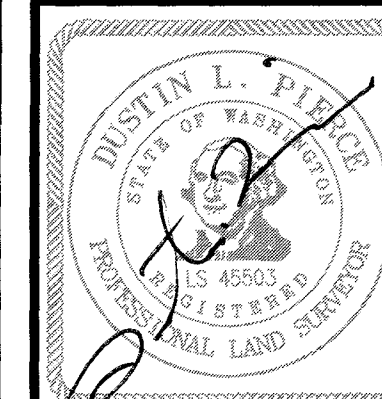
Western Washington Division
635 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250 • Fax: (425) 391-3055
Eastern Washington Division
407 Swiftwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

JOB NO.	18092
DATE	07/14/2020
SCALE	1" = 20'
DESIGNED	
DRAWN	EFG/DLP
CHECKED	DLP
APPROVED	DLP

A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 27, T. 20 N., R. 15 E., W.M.
KITTITAS COUNTY, STATE OF WASHINGTON



INDEX LOCATION
SEC. 27 T. 20N R. 15E W.M

[illegible]

7/14/2020

KITTITAS COUNTY HOSPITAL DISTRICT #2
BOUNDARY AND TOPOGRAPHIC SURVEY

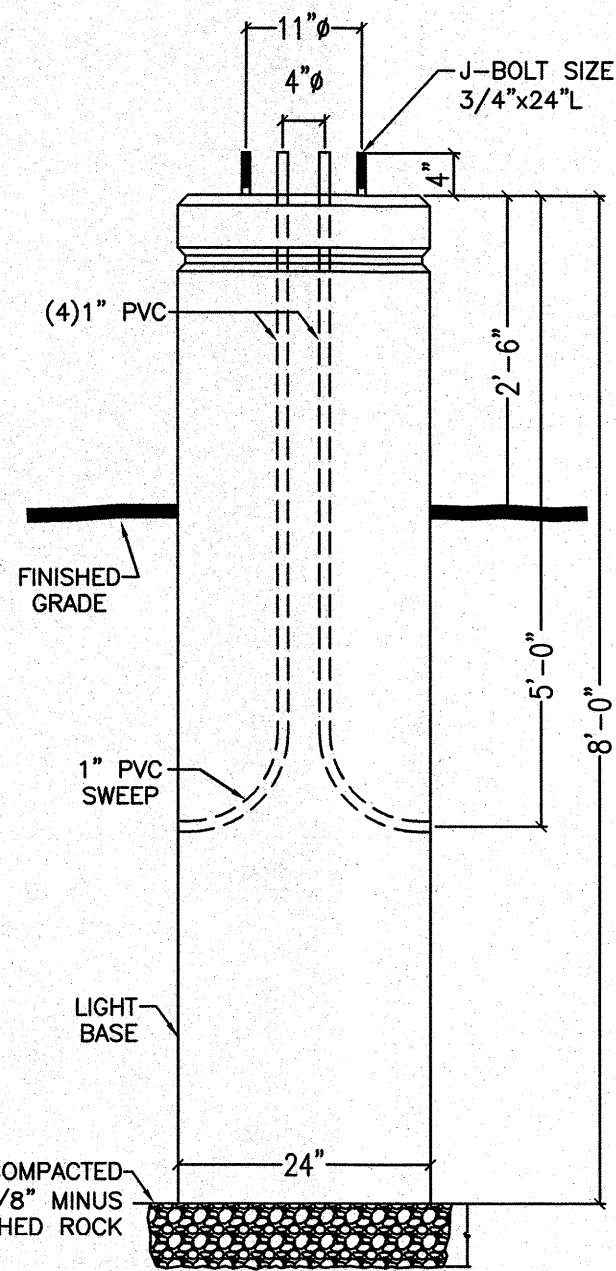
ENGINEERING & SURVEYING

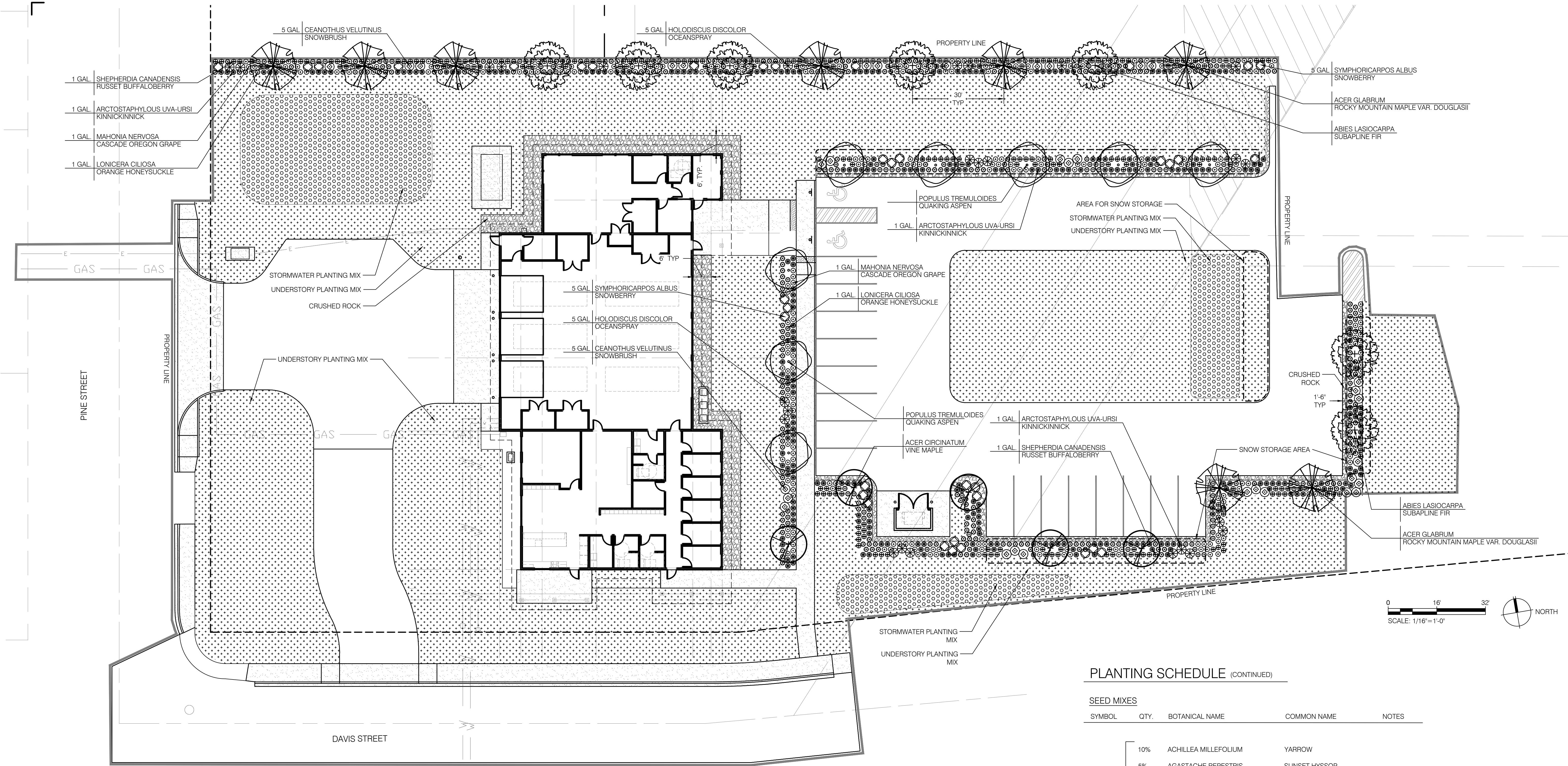
Western Washington Division
65 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250 • Fax: (425) 391-3055

Eastern Washington Division
407 Southwester Blvd. • Cle Elum, WA 98027 • Phone: (509) 674-7433 • Fax: (509) 674-7410

JOB NO.	18092
DATE	07/14/20
SCALE	1" = 20'
DESIGNED	
DRAWN	EFG/DLP
CHECKED	DLP
APPROVED	DLP

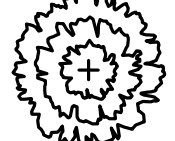
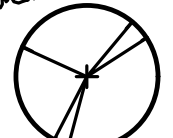


SHEET 4 OF 4












PLANTING SCHEDULE

TREES



SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	7	ABIES LASIOCARPA	SUB-ALPINE FIR	2" CAL	
	5	ACER CIRCINATUM	VINE MAPLE	2" CAL	
	8	ACER GLABRUM var. DOUGLASII	ROCKY MT. MAPLE	2" CAL	
	8	POPULUS TREMULOIDES	QUAKING ASPEN	2" CAL	

BUFFER PLANTING

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	294	ACRTOSTAPHYLOUS UVA-URSI	KINNICKINNICK	1 GAL	FULL, WELL-ROOTED
	34	CEANOTHUS VELUTINUS	SNOWBRUSH	5 GAL	FULL, WELL-ROOTED
	26	HOLODISCUS DISCOLOR	OCEANSPRAY	5 GAL	FULL, WELL-ROOTED
	323	LONICERA CILIOSA	ORANGE HONEYSUCKLE	1 GAL	FULL, WELL-ROOTED
	259	MAHONIA NERVOSA	CASCADE OREGON GRAPE	1 GAL	FULL, WELL-ROOTED
	214	SHEPHERDIA CANADENSIS	RUSSET BUFFALOBERY	1 GAL	FULL, WELL-ROOTED
	323	SYMPHORICARPOS ALBUS	SNOWBERRY	5 GAL	FULL, WELL-ROOTED

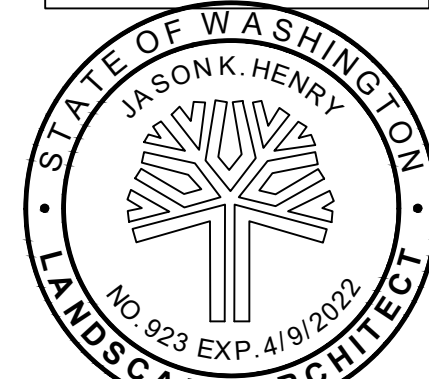
PLANTING SCHEDULE (CONTINUED)

SEED MIXES

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	NOTES
	10%	ACHILLEA MILLEFOLIUM	YARROW	
	5%	AGASTACHE REPESTRIS	SUNSET HYSSOP	
	10%	AGROPYRON SPICATUM	BLUEBUNCH WHEATGRASS	
	5%	AQUILEGIA FORMOSA	RED COLUMBINE	
	10%	BASLAMORHIZA SAGITTATA	ARROWLEAF BALSAMROOT	
	20%	CALAMAGROSTIS RUBESCENS	PINEGRASS	
	5%	ERIOPHYLLUM LANATUM	WOOLLY SUNFLOWER	
	15%	FESTUCA IDAHOENSIS	IDAHO FESCUE	
	10%	LINUM LEWISII	BLUE FLAX	
	10%	LUPINUS POLYPHYLLUS	BIGLEAF LUPINE	
	15%	ACHNATHERUM HYMENOIDES	INDIAN RICE GRASS	
	15%	ASCLEPIAS SPECIOSA	MILKWEED	
	20%	CAMMASSIA QUAMASH	CAMAS	
	20%	CAREX COMOSA	BOTTLEBRUSH SEDGE	
	10%	IRIS DOUGLASIANA	PACIFIC COAST IRIS	
	20%	PETASITES FRIGIDUS	NORTHERN SWEET COLTSFOOT	

REVISION	DATE

These drawings are the sole property of KDA Architecture and may not be reproduced without permission.



KDA ARCHITECTURE

1310 North 18th Avenue, Yakima, WA 98902
T 509 675 4462 F 509 675 4463
www.kdaarchitecture.com



Ambulance
Garage

KCPH District 2

Cle Elum, WA 98922

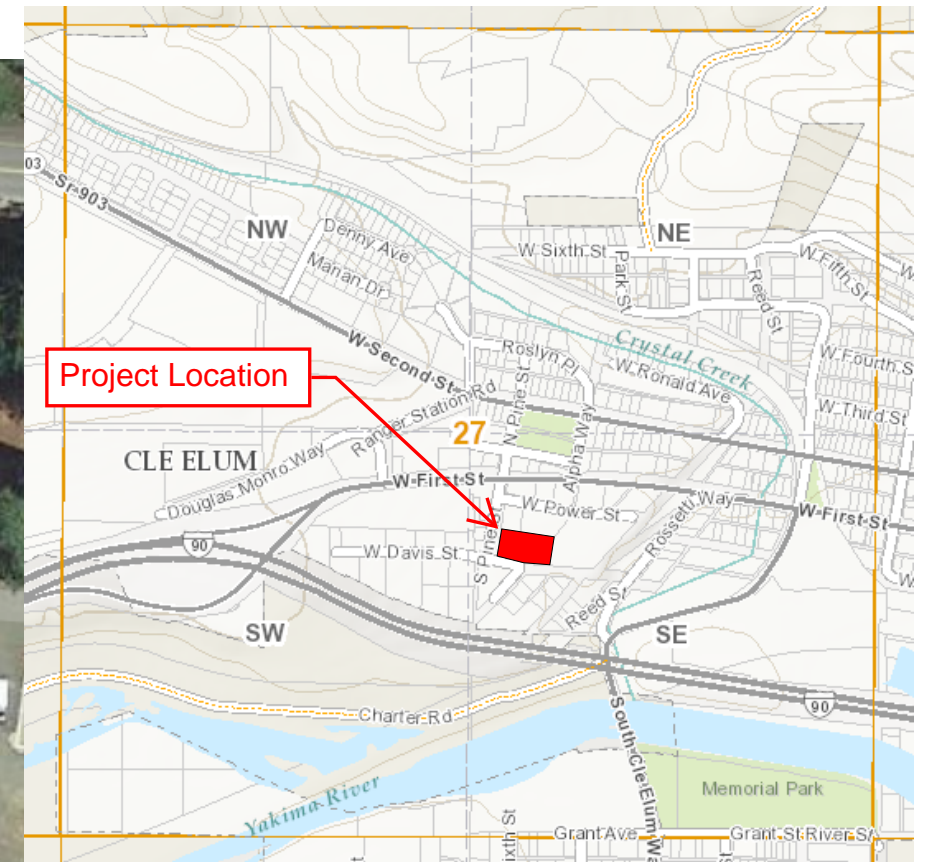
DATE: 06/30/20

SCALE:

DRAWN:

JOB: 201838

SHEET:
L-100
PLANTING PLAN



- 100' from subject site
- Project Boundary
- Location of future building

Existing Site

KCPHD #2 Ambulance

4/23/2020



NOTE:

**The full set of plan drawings were not
included in this online package due to file
size, but are available upon request to
lucy@cityofcleelum.com**

119 West First Street
Cle Elum, WA 98922
Telephone · (509) 674-2262
Fax · (509) 674-4097
www.cityofcleelum.com



Stamp & initial
Received 8/26/2020 by Lucy Temple via email

TYPE II AND III VARIANCE APPLICATION

The purpose of a variance is to provide relief to property owners where application of the Cle Elum Municipal Code may cause a hardship, due to unusual circumstances of the land. Variances are allowed for numeric provisions of the code such as setbacks, buffers, height, landscaping minimums, lot coverage and lot dimensions. Variances of up to 2% do not require review outside of the permit process required for the project. Variances of 2% to 10% are considered a Type II process which requires public notice. Variances over 10% require a public hearing in front of the Planning Commission. See CEMC 17.85 for more information.

OFFICIAL USE ONLY	
Permit #:	VAR-2020-001
Staff Person:	Lucy Temple
Fee Total:	NA
Related Permits:	PREAP, CUP, SEP, BLA

Applicant	
Name:	Rhonda Holden
Mailing Address:	603 S. Chestnut St Ellensburg 98926
Email:	rholden@kvhealthcare.org
Phone Number:	509-962-7320 or 509-674-8104
Property Owner	Same as applicant <input type="checkbox"/>
Name:	Kittitas County Hospital District #2
Mailing Address:	603 S. Chestnut St Ellensburg 98926
Email:	as above
Phone Number:	as above
Property Information	
Project Name:	KCPHD #2 Ambulance Garage
Address:	111 Pine St
Assessor's Parcel No.:	484135
Zoning:	Commercial / residential
Description of project:	Six bay Ambulance Garage for Medic One Station 99. Requesting a Variance for full public improvements along Davis Street as a sidewalk, curb & gutter would not be practical given the location / landscape of the area, fitting the Variance Decision criteria

See attached list

Variance Application Requirements¹	
1.	Site plan indicating location of property boundaries, proposed improvements, existing access locations and dimensions, site improvements, adjacent public streets and driveway, the specific location of the variance and any features of the property that are present that cause the need for the variance.
2.	A map indicating the subject property and boundaries.
3.	If the applicant is not the legal owner a signed authorization from the legal owner is required. ²
4.	Written narrative describing the project, and how the proposed variance complies with the decision criteria listed below.
5.	Payment of a fee that is consistent with the City of Cle Elum's fee schedule.
Variance Decision Criteria	
1.	There are unusual, exceptional or extraordinary circumstances or conditions applying to the property that do not apply generally to other property in the same vicinity or district. Such conditions may include topography, unique natural conditions, surroundings and size or unusual shape of the lot.
2.	The unusual circumstances or conditions and the strict application of this title cause the loss of a substantial property right possessed by the owners of other properties in the same vicinity or district.
3.	The unusual circumstances or conditions and the strict application of this title cause the loss of a substantial property right possessed by the owners of other properties in the same vicinity or district.
4.	The variance approved will be for the least amount that will make possible the legal use of the land, building or structure and will not provide a special privilege inconsistent with the limitations upon use of other properties in the vicinity or use district.
5.	The variance will not adversely affect the realization of the comprehensive plan.
6.	The need for the variance was not caused by the actions of the applicant or property owner.

1. The application will not be processed and deemed incomplete if not all required criteria is not attached to application on the day of submission. The Planner may chooses to wave some of the requirements. If any of the required criteria is provided in another permit please cite that permit.
2. The owner can sign under the authorization section of this application or send the City Planner a signed letter.

Authorization

The undersigned hereby certifies that this application has been made with the consent of the lawful property owner(s) and that all information submitted with this application is complete and correct. False statements, errors, and/or omissions may be sufficient for denial of the request. This application gives consent to the City to enter the properties listed above for the purposes of inspecting and verifying information presented in this application. The applicant further agrees to pay all fees specified in the City's fee schedule for the permit and expenses associated with the review of the application. The applicant gives consent to the City to enter the property(s) listed above for the purpose of inspecting and verifying information presented in this application.

Applicant Signature:

Rhonda Holden

Date:

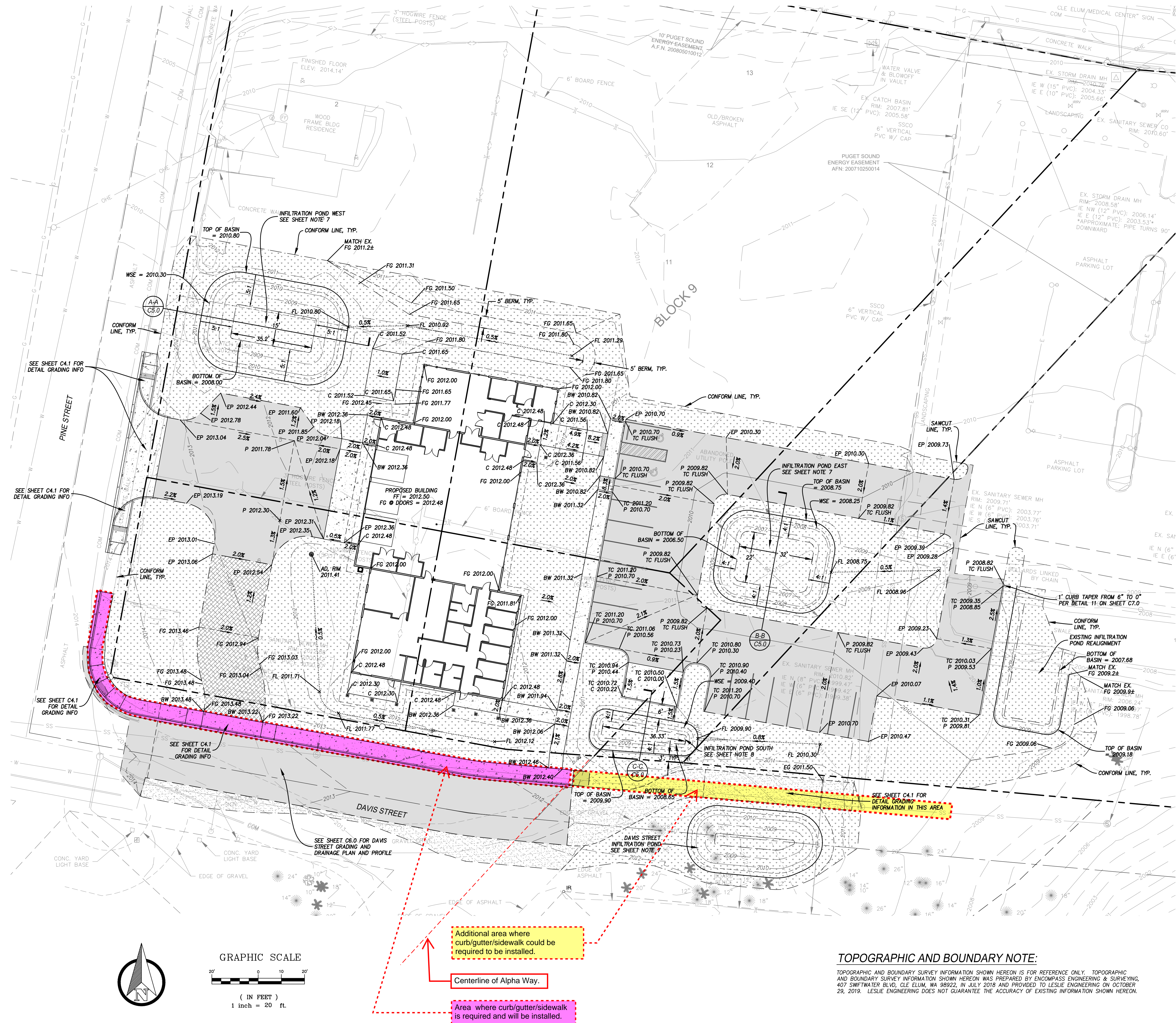
8/26/20

Owner Signature:

Paula Pate

Date:

8/26/20



EARTHWORK NOTES:

- IMPORT = 0± CY
EXPORT = 0± CY
FILL = 1,153± C.Y.
CUT = 1,455± C.Y.
(IF ZERO, INDICATE 0)
1. THE EARTHWORK QUANTITIES SHOWN ARE PROVIDED FOR THE PERMITTING AND PLANNING PURPOSES ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CARRY OUT THE CUT/FILL, IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES SHOWN ON THE PLANS. CONTRACTOR IS TO DELIVER TO OWNER THE PROJECT IN A COMPLETE AND OPERATIONAL MANNER. EARTHWORK QUANTITIES SHOWN ON THE PLANS OR REPRESENTED BY THE ENGINEER ARE APPROXIMATE AND ARE FOR PERMITTING AND PLANNING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ANY INVESTIGATION OR STUDIES THAT ARE REQUIRED BY THE CONTRACTOR TO SATISFY THIS REQUIREMENT. NO ADDITIONAL COMPENSATION SHALL BE PAID FOR SAID CUT/FILL AND/OR IMPORT/EXPORT.
 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE ALL MATERIAL AND LABOR REQUIRED WITHIN THE BID PRICE, FOR EARTHWORK CONSTRUCTION, TO CARRY OUT THE CUT/FILL AND/OR IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES SHOWN ON THE PLANS. CONTRACTOR IS TO DELIVER TO OWNER THE PROJECT IN A COMPLETE AND OPERATIONAL MANNER. EARTHWORK QUANTITIES SHOWN ON THE PLANS OR REPRESENTED BY THE ENGINEER ARE APPROXIMATE AND ARE FOR PERMITTING AND PLANNING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ANY INVESTIGATION OR STUDIES THAT ARE REQUIRED BY THE CONTRACTOR TO SATISFY THIS REQUIREMENT. NO ADDITIONAL COMPENSATION SHALL BE PAID FOR SAID CUT/FILL AND/OR IMPORT/EXPORT.

SHEET NOTES:

1. REFER TO GENERAL PLAN NOTES ON SHEET C1.1.
2. REFER TO ARCHITECTURAL PLANS BY KDA ARCHITECTURE FOR NEW BUILDING INFORMATION AND DESIGN, DEMOLITION AND TREE REMOVAL INFORMATION. BUILDING ROOFS SHALL BE COATED WITH INERT, NON LEACHABLE MATERIALS.
3. CONTRACTOR SHALL COMPLY WITH MANUFACTURERS' INSTALLATION PROCEDURES AND RECOMMENDATIONS FOR CONSTRUCTION OF ALL IMPROVEMENTS.
4. GROUNDWATER IN THE VICINITY IS DEEP AND DEWATERING IS NOT EXPECTED. CONTRACTOR SHALL ADDRESS DEWATERING AS NECESSARY.
5. ELECTRICAL CONDUITS, TRANSFORMERS, VAULTS AND OTHER ELECTRICAL INFORMATION SHALL BE PREPARED BY THE ELECTRICAL CONSULTANT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
6. LANDSCAPE AND IRRIGATION DESIGN AND PLANS SHALL BE PREPARED BY THE LANDSCAPE ARCHITECT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. SEE SHEET C4.2 FOR ADDITIONAL STORMWATER MANAGEMENT FACILITY INFORMATION.

TOPOGRAPHIC AND BOUNDARY NOTE:

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY ENCOMPASS ENGINEERING & SURVEYING, 407 SWIFTWATER BLVD, CLE ELUM, WA 98922, IN JULY 2018 AND PROVIDED TO LESLIE ENGINEERING ON OCTOBER 29, 2019. LESLIE ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF EXISTING INFORMATION SHOWN HEREON.

REVISION	DATE

Transmitted electronic files (including BIM Models) are for use solely with respect to this project and are the sole property of KDA Architecture.

Electronic files are provided as a courtesy only. KDA Architecture in no way guarantees the accuracy or completeness of the data contained within the files. Furthermore, KDA Architecture assumes no liability for any errors or omissions in the data. Anyone using the information contained herein should consult the reviewed and approved hard copy drawings and/or issued revisions for the most current information available.



KDA ARCHITECTURE
1310 North 16th Avenue, Yakima, WA 98902
T 509 573 5408 F 509 433 0293
www.kdaarchitecture.com



**Ambulance
Garage**

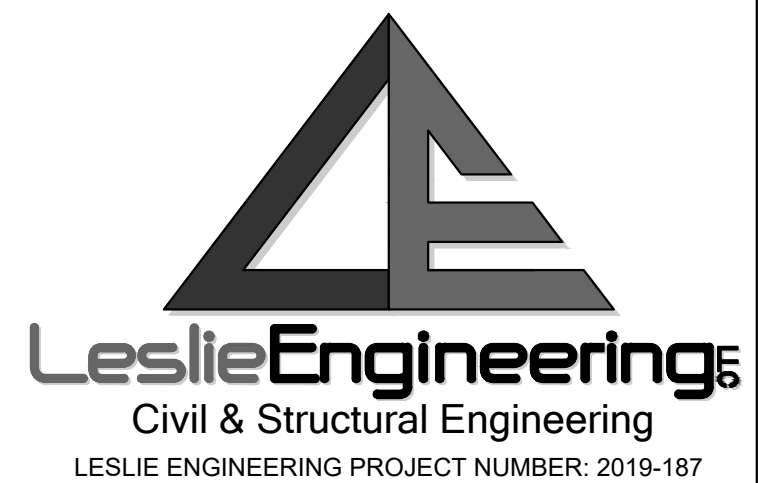
KCPH District 2

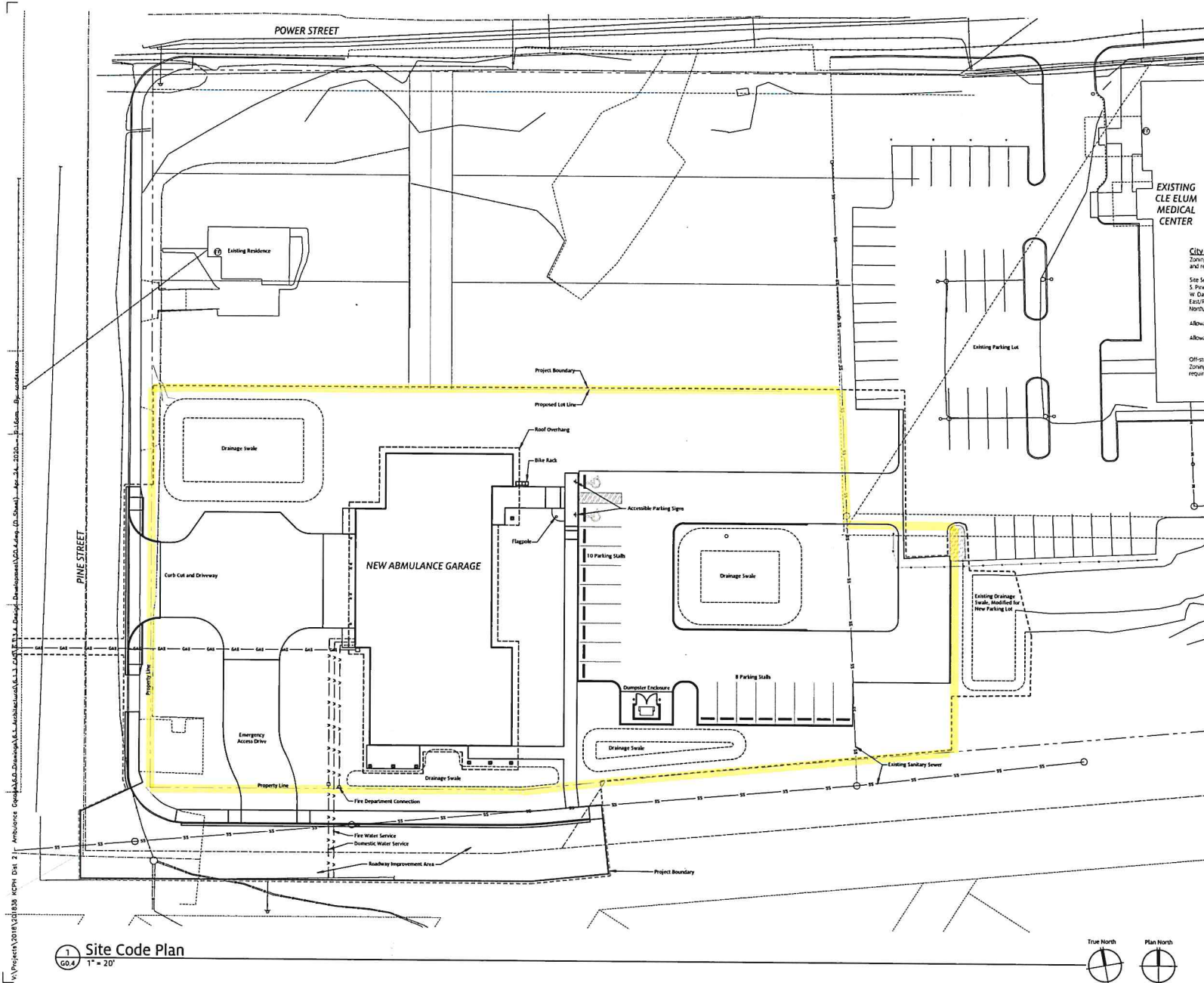
505 Power Street
Cle Elum, WA 98922

DATE: 6/30/2020
SCALE: As Indicated
DRAWN: DH
JOB: 201838

**Grading &
Drainage Plan**

SHEET:
C4.0





SHEET NOTES

- See Civil drawings for paving, grading, and utility details.

EXISTING
CLE ELUM
MEDICAL
CENTER

City Of Cle Elum Zoning Code

Zoning Code is under revision. Confirmation of zoning designations and requirements to be confirmed with City of Cle Elum.

Site Setbacks:
S. Pine Street 0'
W. Davis Street 0'
East Pine Yard 0'
North Side Yard 0'

Allowable Stories Above Grade:
Not Listed (per IBC 3 stories)
Allowable Building Height:
180' (Fire Stic: 150'-0")

Off-street Parking Calculations:
Zoning Code is under revision. Confirmation of off-street parking requirements to be confirmed with City of Cle Elum.

Residential	5 Spaces
Assembly (Framing Room)	28 Spaces
Total Parking Required	33 Spaces

REVISION	DATE

100%
Design
Development

KDA ARCHITECTURE
1110 North State Avenue, Suite 100, Cle Elum, WA 98932
Phone: (509) 754-1000
Fax: (509) 754-1001
www.kdaarchitecture.com



AMBULANCE
GARAGE

KCPH District 2

505 Power Street
Cle Elum, WA 98932

DATE: 04/24/2020

SCALE: 1" = 20'

DRAWN: RA

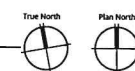
JOB: 201838

Site Code Plan

SHEET:

GO.4

1
GO.4 Site Code Plan
1" = 20'





REVISION	DATE

These drawings are the property of KDA Architecture and are not to be reproduced or used in any manner without the written consent of KDA Architecture. The drawings are prepared for the project described in the title block and are not to be used for any other project without the written consent of KDA Architecture. The drawings are prepared for the project described in the title block and are not to be used for any other project without the written consent of KDA Architecture.

KDA ARCHITECTURE
 1000 1st Street, Suite 100
 Seattle, WA 98101
 Phone: 206.461.1111
 Fax: 206.461.1112
 Email: info@kdaarch.com
 Website: www.kdaarch.com



**Ambulance
Garage**

KCPH District 2

505 Power Street
 Cle Elum, WA 98922

DATE: 05/06/2020

SCALE:

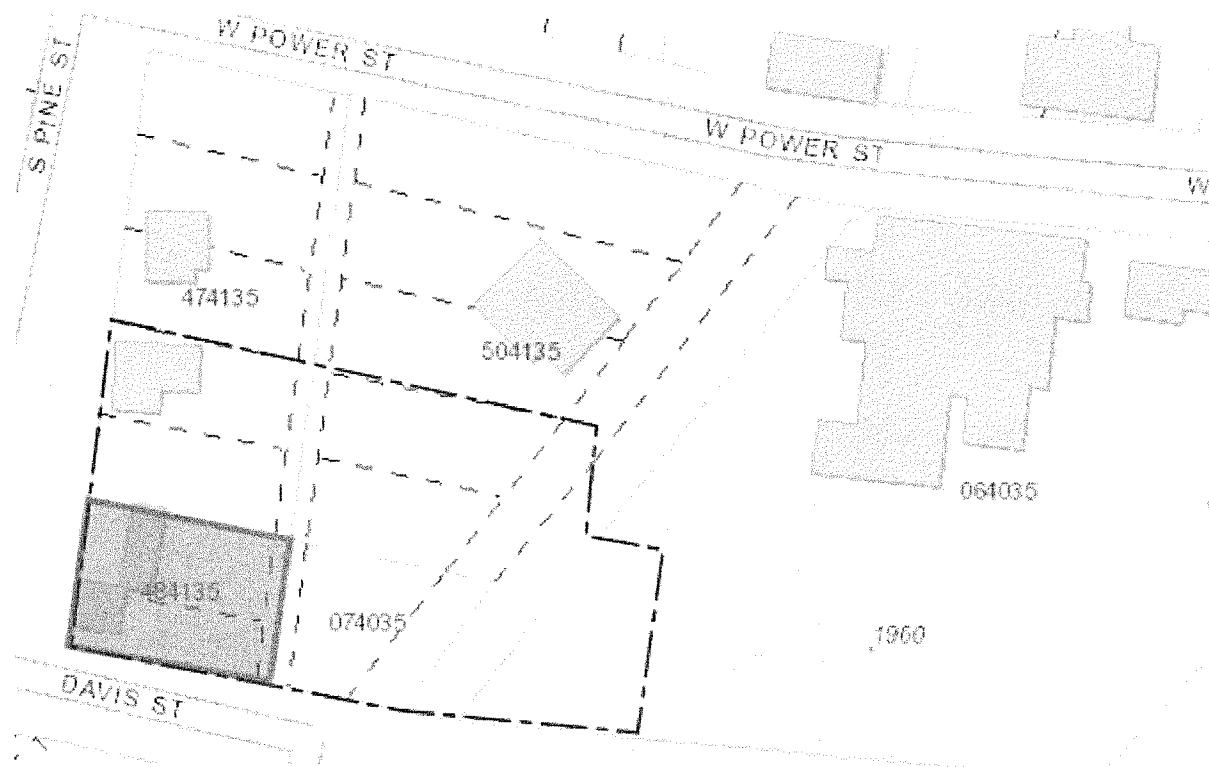
DRAWN: Author

JOB: 201838

Exterior
Perspectives

SHEET:

G0.5



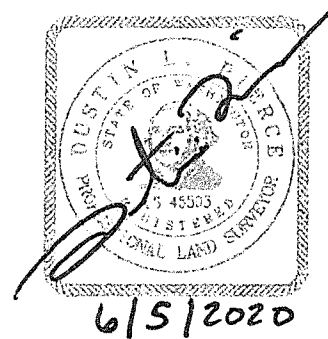


KCPHD #2

LEGAL DESCRIPTION FOR REMAINDER OF PARCEL NO. 474135

LOT 1-3 OF BLOCK 9 AS SHOWN ON THE ROSLYN 2ND ADDITION TO THE CITY OF CLE ELUM, VOLUME 3 OF PLATS, PAGE 3, RECORDS OF KITTITAS COUNTY, BEING A PORTION OF SECTION 27, TOWNSHIP 20 NORTH, RANGE 15 EAST, WILLAMETTE MERIDIAN, KITTITAS COUNTY, STATE OF WASHINGTON;

TOGETHER WITH THAT PORTION OF VACATED ALLEY AS VACATED BY CITY OF CLE ELUM ORDINANCE NO. 1370 RECORDED, AUGUST 17, 2012 UNDER AUDITOR'S FILE NO. 201208170014;





KCPHD #2

LEGAL DESCRIPTION RESULTING FROM BOUNDARY LINE ADJUSTMENT

A PORTION OF BLOCK 9 ROSLYN 2ND ADDITION TO CLE ELUM, AS RECORDED IN VOLUME 3 OF PLATS, PAGE 3, RECORDS OF KITTITAS COUNTY, BEING A PORTION OF SECTION 27, TOWNSHIP 20 NORTH, RANGE 15 EAST, WILLAMETTE MERIDIAN, KITTITAS COUNTY, STATE OF WASHINGTON;

TOGETHER WITH THAT PORTION OF VACATED WEST YAKIMA AVENUE VACATED BY CITY OF CLE ELUM ORDINANCE NO. 600 OF THE CITY OF CLE ELUM, ADOPTED NOVEMBER 8, 1965;

AND

TOGETHER WITH THAT PORTION OF VACATED ALLEY AS VACATED BY CITY OF CLE ELUM ORDINANCE NO. 1370, RECORDED AUGUST 17, 2012 UNDER AUDITOR'S FILE NO. 201208170014 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 7 OF SAID BLOCK 9, SAID CORNER BEING THE TRUE POINT OF BEGINNING;

THENCE ALONG THE WEST BOUNDARY LINE THEREOF NORTH 10°21'57" EAST TO THE NORTHWEST CORNER OF LOT 4 OF SAID BLOCK 9;

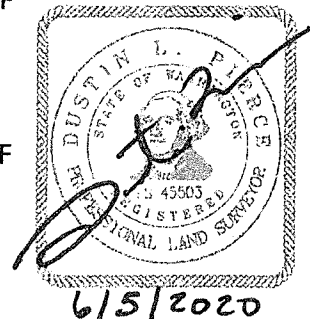
THENCE EASTERLY ALONG THE NORTH BOUNDARY LINE OF SAID LOT 4, 129.41 FEET MORE OR LESS, TO THE NORTHWEST CORNER OF LOT 10 OF SAID BLOCK 9;

THENCE EASTERLY ALONG THE NORTH BOUNDARY LINE OF SAID LOT 10 TO THE WEST BOUNDARY LINE OF BLOCK 5 OF AMENDED PLAT OF THE ROSLYN ADDITION TO CLE ELUM;

THENCE SOUTH 42°55'33" WEST ALONG SAID WEST BOUNDARY LINE OF SAID BLOCK 5 TO THE SOUTHWEST CORNER OF SAID BLOCK 5;

THENCE NORTH 85°38'28" WEST, 76.74 FEET;

THENCE NORTH 79°38'03" WEST, 173.60 FEET TO THE TRUE POINT OF BEGINNING.





KCPHD #2

LEGAL DESCRIPTION FOR REMAINDER OF KITTITAS COUNTY PARCEL NO. 504135

LOTS 11-13 OF BLOCK 9 OF THE ROSLYN 2ND ADDITION TO CLE ELUM, AS RECORDED IN VOLUME 3 OF PLATS, PAGE 3, RECORDS OF KITTITAS COUNTY, BEING A PORTION OF SECTION 27, TOWNSHIP 20 NORTH, RANGE 15 EAST, WILLAMETTE MERIDIAN, KITTITAS COUNTY, STATE OF WASHINGTON;

TOGETHER WITH THAT PORTION OF VACATED WEST YAKIMA AVENUE VACATED BY CITY OF CLE ELUM ORDINANCE NO. 600 OF THE CITY OF CLE ELUM, ADOPTED NOVEMBER 8, 1965, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 7 OF SAID BLOCK 9;

THENCE ALONG THE WEST BOUNDARY LINE THEREOF NORTH 10°21'57" EAST, 337.60 FEET;

THENCE SOUTH 79°38'03" EAST, 129.41 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 79°38'03" EAST, 259.61 FEET;

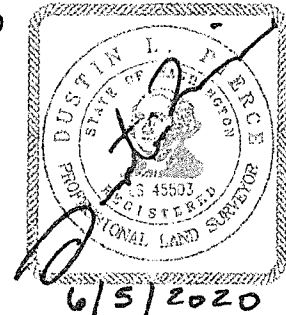
THENCE SOUTH 85°12'01" EAST, 76.27 FEET TO THE WEST BOUNDARY LINE OF BLOCK 5 OF AMENDED PLAT OF THE ROSLYN ADDITION TO CLE ELUM;

THENCE SOUTH 42°55'33" WEST, 186.75 FEET MORE OR LESS;

THENCE WESTERLY TO THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 9;

THENCE WESTERLY ALONG THE NORTH BOUNDARY LINE OF LOT 10 TO THE EAST BOUNDARY LINE OF SAID LOTS 11-13;

THENCE NORTH 10°21'57" EAST TO THE TRUE POINT OF BEGINNING.



Western Washington Division
165 NE Juniper St., Ste 201, Issaquah, WA 98027
Phone: (425) 392-0250

www.EncompassES.net

Eastern Washington Division
407 Swiftwater Blvd., Cle Elum, WA 98922
Phone: (509) 674-7433

Page 1 of 1



KCPHD #2 Boundary Line Adjustment

Existing Parcel areas:

Parcel no: 474135

32,353 sq. ft. (0.74 Acres)

Parcel no: 484135

11,337 sq. ft. (0.26 Acres)

Parcel no: 504135

66,199 sq. ft. (1.52 Acres)

Parcel no. 074035

9,068 sq. ft. (0.21 Acres)

Area as a result of adjustment/combination:

Parcel no. TBD

56,845 sq. ft. (1.30 Acres)

Area remaining after adjustment:

Parcel no: 474135

19,412 sq. ft. (0.45 Acres)

Parcel no: 504135

42,700 sq. ft. (0.98 Acres)

Western Washington Division
165 NE Juniper St., Ste 201, Issaquah, WA 98027
Phone: (425) 392-0250

Eastern Washington Division
407 Swiftwater Blvd., Cle Elum, WA 98922
Phone: (509) 674-7433

www.EncompassES.net

119 West First Street
Cle Elum, WA 98922
Telephone · (509) 674-2262
Fax · (509) 674-4097
www.cityofcleelum.com



Stamp & initial

Received 8/31/2020
by Lucy Temple
via email

CONDITIONAL USE PERMIT APPLICATION

"Conditional use" means a use that would not be acceptable without restrictions throughout a zoning district and is not permitted by right within a zoning district but which may be permitted subject to meeting certain conditions contained in this title or as may be determined during the review process. See [CEMC 17.80](#) for more information.

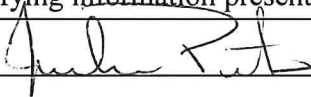
OFFICIAL USE ONLY

Permit #:	CUP-20 20-001
Staff Person:	Lucy Temple
Fee Total:	NA
Associated Permits:	PREAP, BLA, SDR, VAR

Applicant	
Name: Kittitas Valley Healthcare, Kittitas County Public Hospital District #2	
Mailing Address: 603 South Chestnut Street, Ellensburg, WA 98926	
Email: rurlacher@kvhealthcare.org	Phone Number: Office 509 933-8625 Cell 509 961-9505
Property Owner Same as applicant <input checked="" type="checkbox"/>	
Name:	
Mailing Address:	
Email:	Phone Number:
Property Information	
Project Name: Ambulance Garage	
Address: 111 Pine Street	
Assessor's Parcel No.: 484135	Zoning: General Commercial and Residential
Description of project:	
<p>This project consists of the construction of a new single story 8,500 SF building. (If eaves and soffits are included, the area is 10,574 SF). The building will be wood framed structure with a sloping metal roof. Exterior finishes will be cement based material in board and batten and shingle style siding with some areas using stone or masonry finishes.</p> <p>Site improvements will occur within the approximately 1.53 acre project boundary including an ambulance driveway on the west side of the project site and also off-street parking area on the east side of the project site. This project will also include site improvements, natural gas, domestic water, fire water service, sewer service, electrical service, and landscaping.</p>	

Application Criteria¹	
1.	Legal description of the subject property supplied by Kittitas County, a title company or survey licensed in the state of Washington.
2.	Two hard copies and one electronic copy (PDF) of a site plan drawn to a minimum scale of one inch equals two hundred feet on a sheet no larger than twenty-four inches by thirty-six inches and including one reduced size copy no larger than legal size. The site plan shall contain the following information.
a.	The subject property boundaries.
b.	Dimensions and size.
c.	Location, dimensions and height of all existing and proposed structures.
d.	Location of building accesses.
e.	Proposed setbacks. CEMC 17
f.	Proposed phasing.
g.	Proposed landscaping. CEMC 17.64 .
h.	Location and dimensions of vehicle and pedestrian access points and circulation routes. CEMC 17.56
i.	The location of all proposed on-site parking including provisions for handicap parking.
j.	Any easements.
k.	The location of any proposed outdoor lights.
l.	Any other proposed site improvements.
3.	If the applicant is not the legal owner a signed authorization from the legal owner is required. ²
4.	Written narrative description of uses, types of structures proposed, hours of operation, abutting properties, proposed access, and frequency of deliveries, construction schedule, and how the proposed use complies with the criteria established by CEMC 17.80.050 .
5.	Payment of a fee that is consistent with the City of Cle Elum's fee schedule.

1. The application will not be processed and deemed incomplete if not all required criteria is not attached to application on the day of submission. The Planner may choose to wave some of the required criteria. If any of the required criteria is provided in another permit please cite that permit.
2. The owner can sign in allotted space provided under the authorization section of the application or send the City Planner a letter/email with authorization.

Decision Criteria	
1.	The proposed use will be designed and operated in a manner which is compatible with the character, appearance, and operation of existing or proposed development in the vicinity of the subject property
2.	The hours and manner of operation of the proposed use are not inconsistent with adjacent or nearby uses
3.	The proposed use is compatible with the physical characteristics of the subject property and neighboring properties
4.	The location, nature and intensity of outdoor lighting is such that it is consistent with the surrounding neighborhood and does not cast light or glare on adjoining properties
5.	The proposed use is such that it is pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood
6.	The proposed use is capable of being served by public facilities and services, and will not adversely the level of service to surrounding areas
7.	The proposed use is not detrimental to the public health, safety, or welfare
8.	The proposed use is consistent with the goals and policies of the comprehensive plan;
9.	The subject site can accommodate the proposed use considering the size, shape, topography and drainage.
Authorization	
<p>The undersigned hereby certifies, under penalty of perjury, that this application has been made with the consent of the lawful property owner(s) and that all information submitted with this application is complete and correct. Furthermore, false statements, errors, and/or omissions may be sufficient for denial of request. The applicant further agrees to reimburse the city for all expenses associated with reviewing the application. This application gives consent to the City to enter the properties listed above for the purposes of inspecting and verifying information presented in this application.</p>	
Applicant Signature: 	Date: 8/31/20
Owner Signature:	Date:



Principals

Rod Knipper, AIA
Dennis W. Dean, AIA
Brian J. Andringa, AIA

August 28, 2020

Lucy Temple
City of Cle Elum
119 West First Street
Cle Elum, WA 98922

Re: Kittitas County Public Hospital District #2 - Ambulance Garage
Project No. 201838

Written response for where to find the requested information from the Conditional Use Permit Application.

Application Criteria:

1. Legal Description.
Response: A legal description has been provided as part of the Type II an II Variance Application.
2. Site Plan Information: location to find information:
 - 2a. The subject property boundaries
Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application and Building Permit Application.
 - 2b. Dimension and size.
Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application and Building Permit Application.
 - 2c. Location, dimensions, and height of all existing and proposes structures.
Response: For existing structures, there are none. Refer to sheet 2 of Encompass Sheets submitted with Site Design Review Application.
For proposed structure, see the attached A2.1 Floor Plan showing building dimensions, and for building height see Architectural A4.1 - Exterior Elevation and Architectural A4.2 - Exterior Elevation submitted with the Site Design Review Application.
 - 2d. Location of building access.
Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application, and the attached A2.1 Floor Plan.
 - 2e. Proposed setbacks.
Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application.

2f. Proposed phasing.

Response: No phasing of the construction.

2g. Proposed landscaping.

Response: Refer to landscaping plan submitted with the Site Design Review Application.

2h. Proposed location and dimension of vehicle and pedestrian access points and circulation routes.

Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application.

2i. The location of all proposed on-site parking including provisions for handicap parking.

Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application.

2j. Any easements.

Response: See the Civil Sheet C5.0 submitted with the Site Design Review Application.

2h. The location of any proposed outdoor lights.

Response: See Electrical Site Plan Sheet E0.1 submitted with the Site Design Review Application. Refer to the callouts for Keynote #7, #8, and Keynote #10 for the outdoor light locations.

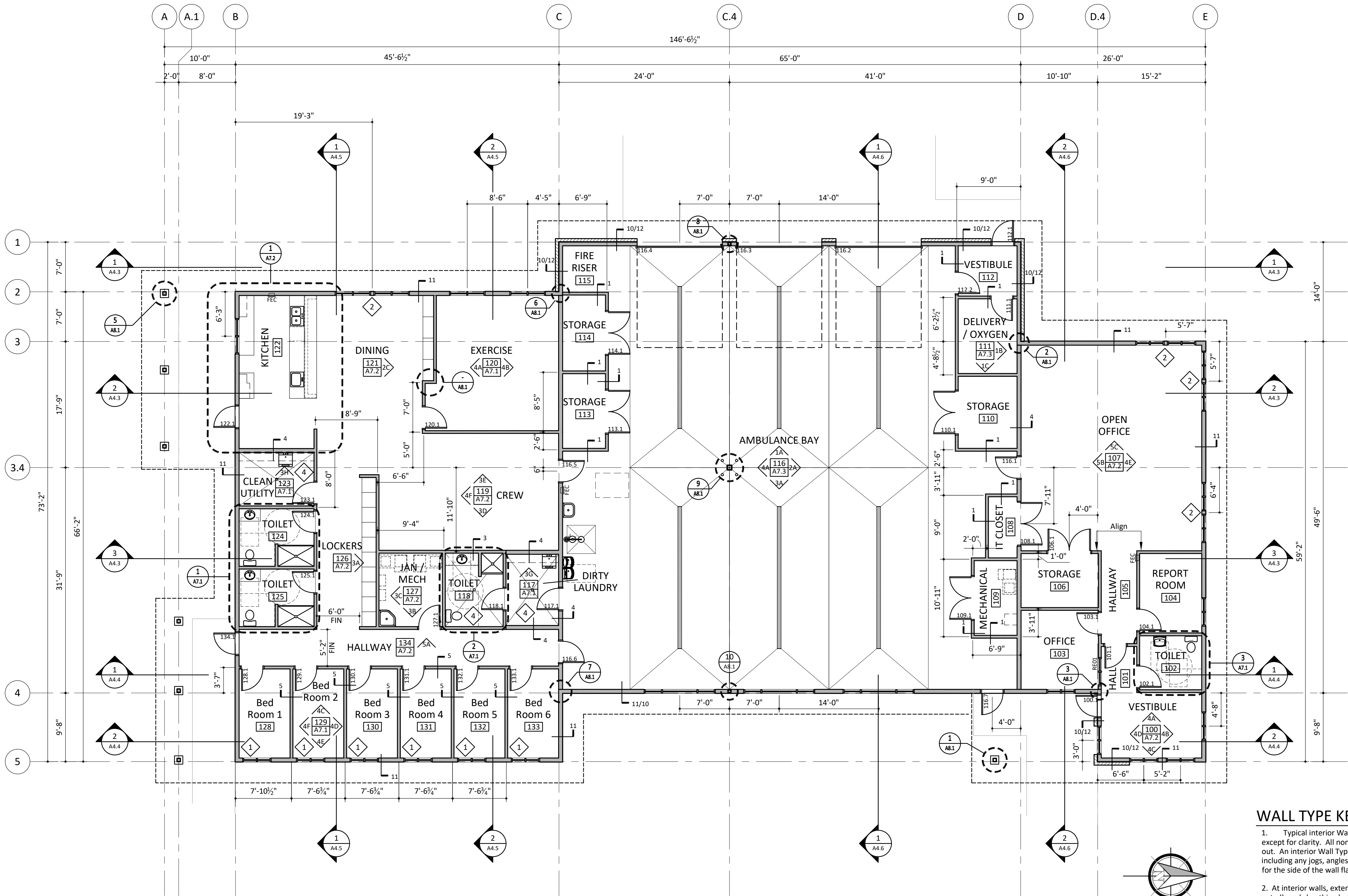
2j. Any other proposed site improvements.

Response: See the Civil Sheets C3.0, C4.0, and C5.0 submitted with the Site Design Review Application.

4. Written narrative.

Response: See the written narrative submitted with the Site Design Review Application.

V:\Projects\2018\201838 KCPH Dist 2 - Ambulance Garage\6.0 Drawings\6.1 Architectural\6.1.3 CAD\6.1.3.5 Construction Documents\Monson Final\A201.dwg (D Sheet) Jul 14, 2020 - 8:00am By: ronderson



1 Floor Plan
A2.1

1/8" = 1'-0"

MATERIAL KEYNOTES

SHEET KEYNOTES

- 1 Windows in Bed Rooms are to be installed 6" off east walls. Typical in each bedroom.
- 2 Grouped windows to be centered on given dimension. See Detail 9/A8.3.
- 3 Door centered on Gridline 3.4.
- 4 Slope floor to floor drain.

SHEET NOTES

WALL TYPE KEY

- Typical interior Wall Type "3" is not flagged except for clarity. All non-typical walls are called out. An interior Wall Type continues the full length, including any jogs, angles, recesses, or stub walls for the side of the wall flagged.
- At interior walls, extend studs, insulation (where noted), and sheathing bottom of roof trusses. Cut and fit all walls tight to beams, cuts, pipes, and other objects.
- All exterior framed walls to receive vapor barrier on interior side of framing.
- At walls with insulation, continue insulation full height of wall, UNO.
- All stud framing and furring 16" O.C. UNO.

WALL TYPE KEY
Symbol Indicates Fill
(No Symbol= No Fill)
Number Indicates Wall Type

(E) Existing

INTERIOR WALL TYPES
See G0.2 for description of wall types.

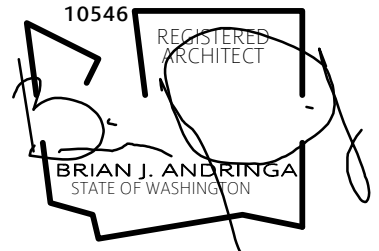
- Type 1 - Interior (2x4) Partition
- Type 2 - Interior (2x6) Partition
- Type 3 - Acoustic (2x4) Interior Partition
- Type 4 - Acoustic (2x6) Interior Partition
- Type 5 - 1 Hour Rated

EXTERIOR WALL TYPES
See G0.2 for description of wall types.

- Type 10 - Exterior HardShingle
- Type 11 - Exterior Board and Batten
- Type 12 - Anchored Stone Veneer

REVISION	DATE

These drawings are the sole property of KDA Architecture and may not be reproduced without permission.



KDA ARCHITECTURE

1110 North 14th Avenue, Suite 100, WA 98002
1206 575 5400 509 831 0292
www.kdaarchitecture.com



Ambulance
Garage

KCPH District 2

Cle Elum, WA 98922

DATE: 06/30/20

SCALE: 1/8" = 1'-0"

DRAWN: RHM

JOB: 201838

Floor Plan

SHEET:

A2.1