

*City of Cle Elum*  
119 West First Street  
Cle Elum, WA 98922



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**CITY OF CLE ELUM**  
**Site & Design Review / Conditional Use Permit / Variance**  
**SDR-2020-004 / CUP-2020-001 / VAR-2020-001**  
**STAFF REPORT**

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**PROJECT:** Hospital District #2 Ambulance Garage  
SDR-2020-004, CUP-2020-001 & VAR-2020-001

**APPLICANT:** Hospital District #2, Ron Urlacher  
(Property Owner) 603 S Chestnut Street  
Ellensburg, WA 98926  
509-933-8625

**DESCRIPTION:** Construction of an Ambulance Garage, with parking

**LOCATION:** 111 Pine Street  
Cle Elum, WA 98922

**PARCEL NUMBER:** 484135

**ZONING:** General Commercial / Residential

**APPLICATION TYPE:** Type III

**PREPARED BY:** Lucy Temple, Planner

**DATE:** September 8, 2020

**RECOMMENDATION:** Review combined staff report for the Hospital District's ambulance garage, discuss, deliberate, and decide upon whether to approve SDR-2020-004, CUP-2020-001, and VAR-2020-001.

**APPEAL:** The appeal process for Type III decisions is found in [CEMC 17.100.130](#)

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## **BACKGROUND INFORMATION:**

The City received applications for a Site & Design Review, Variance, and Conditional Use Permit on August 31, 2020 from Hospital District #2, to build an 8,500 square foot ambulance garage facility with staff quarters located on the Hospital District #2 property at 111 Pine Street.

The Conditional Use Permit is to site a public facility within the Residential District and the Variance is to deviate from full public improvements along the full southern boundary of the proposed site.

A combined notice of application and notice of public hearing was mailed to properties within 300 feet, as well as agencies with jurisdiction on September 3, 2020. The City ran legal notices in the newspaper of record on September 3 and 10, 2020 and the notice was posted onsite on September 3, 2020.

## **SITE & DESIGN REVIEW**

(CEMC 17.76.040(F)(2) CRITERIA FOR DESIGN REVIEW APPROVAL)

- a. *The proposed use is permitted within the zoning district in which it is located.*

### **Staff Response #1**

The proposed use is an allowed use with an approved use in the General Commercial zone ([CEMC 17.32.020\(M\)](#)) and with a Conditional Use Permit in the Residential zone ([CEMC 17.16.030\(G\)](#)). See Administrative Code Interpretation, Exhibit II.

- b. *The proposed use is permitted within the zoning district including lot, yard, building, height and other requirements.*

### **Staff Response #2**

The proposed Public Use project is permitted within General Commercial, and as a Conditional Use in the Residential Zone. See Administrative Code Interpretation, Exhibit II. The building will not exceed the 35-foot height maximum. Lot size, dimensions, and setbacks are compliant with municipal code. The south property line has a 20-foot setback from building façade and a 7-foot setback from the roof drip line to the property line. This is in compliance with [CEMC 17.32.040](#). The building's western elevation is set back approximately 95 feet from the sidewalk. The proposed project will be built on property between two zones. However, the staff recommendation is to not require the residential zoning of the primary property where the ambulance garage building will be located, which would eliminate the need for screening from the applicant's own project. See Exhibit I, Sheet C3.0 and G0.5.

- c. *The proposed design meets landscaping, screening and buffering standards of [CEMC 17.64](#).*

### **Staff Response #3**

A landscape plan was submitted, which is consistent with the [CEMC 17.64](#) (Exhibit I, Landscape Plan page L.100). The parking area includes 16 stalls, and currently the landscaping area exceeds 10%, of the site with a large swale in the center that may become additional parking and landscaping with future buildout.

- d. *The proposed design meets the off-street parking and loading requirements of [17.56](#).*

### **Staff Response #4**

Due to the nature of the development as a vehicle storage and educational facility, 12 off-street parking spaces were designed and the following requirement was determined by staff: 1 stall for each residential sleeping room, plus another stall to accommodate staff shift changes. The applicant added additional spaces to accommodate the meeting room, if non-staff use the building, resulting in 16 spaces, which meets this standard. A delivery parking/loading area is located on the north side of the ambulance entrance as well. Part of the parking area is on the adjacent parcel, which is in the same ownership and part of the medical complex. See Exhibit I graphics for parking layout.

- e. *The standards of Chapter 18.01, maintenance, enhancement and preservation of critical areas are met.*

**Staff Response #5**

No critical areas exist on or near the site.

- f. *The proposed design and use meets all other applicable sections of Cle Elum Municipal Code.*

**Staff Response #6**

The design does and will adhere to CEMC. Reviews will take place as needed to remain in compliance with the Conditional Use Permit and Variance.

- g. *Public improvements are completed in compliance with applicable code sections.*

**Staff Response #7**

The applicant has applied for a Variance to minimize requirement for street and sidewalk improvements along the full southern boundary of the property. Davis Street will is not planned for improvement by the city due to topography on the east end. There are also no other properties the sidewalk extension would need to service past the apartment building, which will have sidewalk to its closest intersection. The applicant proposes to construct street improvements meeting minimum International Fire Code standards (26 feet wide) on Davis Street and concrete curb/gutter/sidewalk along the north side of Davis Street along the same footprint, from Pine Street to the intersection of Alpha Way. Additionally, the applicant has created a temporary stormwater swale in the Davis Street right of way to catch storm water coming off of the Davis Street public improvements. See Exhibit I, and Variance Approval Criteria Facts and Findings below.

- h. *Adequate and safe provisions are made for pedestrian and vehicle access.*

**Staff Response #8**

A continuous pedestrian pathway will be delineated onsite from the parking area and public sidewalk to the building entrances. See Supplemental Development Standards below and Exhibit I graphics.

- i. *All conditions of applicable previous approvals (SEPA review, CUP, rezones) are met.*

**Staff Response #9**

All conditions of other approvals have been met, or will be met prior to final Certificate of Occupancy for the building. See Staff Conditions and Recommendation below.

- j. *All applicable conditions and criteria found in other Cle Elum Municipal Code titles are met.*

**Staff Response #10**

The design does and will adhere to CEMC. Reviews will take place as needed to remain in compliance with the Conditional Use Permit and Variance.

***SUPPLEMENTARY DEVELOPMENT STANDARDS (Site & Design Review)***

***(CEMC 17.76.050)***

- A. *A continuous pedestrian walkway shall be provided from the public street to access building entrances. The pedestrian walkway shall be a minimum of six feet wide and shall be elevated, protected by a curb, bollards, or landscaping otherwise protected to prevent vehicles from parking, driving or entering the walkway. The required six feet may not be encroached by vehicle overhangs. The walkway shall be composed of Portland cement concrete, brick pavers or other similar surface. Where a walkway must cross a vehicle access aisle it shall be distinguished from the driving areas by use of an alternative paving material which may be brick, pavers, or scored, brushed or colored concrete.*

**Staff Response #11**



The project design includes access off of Alpha Way through or adjacent to the existing KVH clinic complex does not include pedestrian access from Pine Street. Pedestrian access is designed via concrete sidewalks from the proposed parking lot east of the ambulance garage, as well as from the proposed sidewalk extension on Davis Street, south of the building. See Exhibit I, Sheet C3.0.

- B. *Ground level mechanical equipment shall be screened with visual barriers from adjacent property, public roadways, parks or other public areas. Mechanical equipment on roofs shall be screened from ground level.*

**Staff Response #12**

Three condenser units will be located on the east side of the building, north of the crew areas, placed in an interior corner/niche, that will be screened by the vegetative buffer along the west side of the parking area. Additional mechanical equipment includes a water connection on the southwest side and an emergency generator on the northwest side of the building, which will both be screened, although this landscaping/screening was not included in the original proposal. See Exhibit I, Landscape Plan L.100.

- C. *A storage area for garbage and recycling containers shall be provided. The area shall be fully screened by a fence, wall, landscaping or combination thereof. Storage areas may not be located in a public right-of-way and where an alley serves the site, shall only be accessed from the alley.*

**Staff Response #13**

All garbage and recycling containers will be screened as required by this standard. As seen in the Landscape Plan in the southwest corner of the parking area, screened by landscaping on three sides, with fencing and a gate, meeting this standard.

- D. *Predominant building materials shall be those materials that are characteristic of the historic buildings in the city or characteristic of central Washington, such a brick, wood, native stone, and tinted and textured masonry. Visible roofs should be metal. Architectural methods, such as parapets, shall be used to conceal flat roofs. Mansard roofs are prohibited.*

**Staff Response #14**

This condition will be handled by the Building Department. The building façade will be hardy panel material and on the ambulance garage side is masonry to match the existing clinic, and which meets this standard.

- E. *Outdoor storage and display of materials shall be screened from streets, rights-of-way and adjacent properties may a fully site obscuring buffer consisting of appropriate fencing and landscaping.*

**Staff Response #15**

The project does not propose outside storage of materials.

- F. *For all uses creating over two thousand square feet of new impervious surfaces a stormwater control plan is required that treats and retains all stormwater on-site. Impervious surfaces shall include cement, concrete, packed earth and gravel or other similar surface which changes the runoff patterns from native soils.*

**Staff Response #16**

The project will include 65,000 square feet of pervious surfaces (landscaped areas) and 28,000 square feet of new impervious surfacing (building, parking, driveway, sidewalks) and will also include stormwater treatment onsite through retention and infiltration. Stormwater captured from the city right of way by the new curb/gutter/sidewalk will be treated by the developer-constructed stormwater swale in the public right-of-way.

- G. *Roofs shall be designed such that snow from the roof will not be deposited on adjacent public or private properties.*

**Staff Response #17**

The building roofs have been designed to meet this standard, see architectural drawings in application package, which shows metal roofs draining to landscape areas (Exhibit I).

## **CONDITIONAL USE PERMIT**

*(CEMC 17.80.050 Criteria for granting Conditional Use Permits)*

- 1. The proposed use will be designed and operated in a manner which is compatible with the character, appearance, and operation of existing or proposed development in the vicinity of the subject property;***

### **Staff Response #18**

The proposed use will be consistent with the design and operation of the surrounding properties. The public facility proposed is consistent with the adjacent KVH clinic and hospice property. The eastern boundary is adjacent to the Entry Commercial District, including the Safeway and McDonald's complex. The southern boundary is adjacent to a residential area. Public Uses are permitted in the General Commercial Zoning and by Conditional Use Permit in the Residential zoning district. See Administrative Code Interpretation, Exhibit II.

- 2. The hours and manner of operation of the proposed use are not inconsistent with adjacent or nearby uses;***

### **Staff Response #19**

The proposed ambulance garage facility will be manned and operated 24 hours a day 7 days a week, due to the nature of the facility. However, the site will only become noticeably active if an emergency call comes in.

- 3. The proposed use is compatible with the physical characteristics of the subject property and neighboring properties;***

### **Staff Response #20**

The subject property is flat and the proposed plans are compatible. See Exhibit I.

- 4. The location, nature and intensity of outdoor lighting is such that it is consistent with the surrounding neighborhood and does not cast light or glare on adjoining properties;***

### **Staff Response #21**

The proposed use will include only downward facing lighting on the building and any included parking lot illumination. The proposed lighting is consistent with the surrounding neighborhood and will not cast light or glare on adjoining properties. See Exhibit I, E0.1.

- 5. The proposed use is such [that] pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood;***

### **Staff Response #22**

The proposed use will have very little vehicular traffic and deliveries associated with it, other than ambulance traffic and employee vehicles during shift changes.

- 6. The proposed use is capable of being served by public facilities and services, and will not adversely [impact] the level of service to surrounding areas;***

### **Staff Response #23**

The proposed use will be connected to City water and sewer utilities with no adverse impacts to other utilities anticipated.

- 7. The proposed use is not detrimental to the public health, safety, or welfare;***

### **Staff Response #24**

The proposed use is a Public Use facility with the sole purpose of serving the public good. The facility is not anticipated to be detrimental to public health, safety, or welfare.

8. *The proposed use is consistent with the goals and policies of the comprehensive plan;*

**Staff Response #25**

The Conditional Use Permit is consistent with the existing City of Cle Elum Comprehensive Plan, as detailed in Exhibit V.

9. *The subject site can accommodate the proposed use considering the size, shape, topography and drainage.*

**Staff Response #26**

The proposed site can accommodate the proposed use. Stormwater will be captured onsite and not be permitted to discharge to adjacent properties.

## **VARIANCE**

CEMC [17.85.040](#), [17.100.090](#)

*The review authority may grant a variance only in those cases where findings are made that all of the following conditions and criteria are met:*

1. *There are unusual, exceptional or extraordinary circumstances or conditions applying to the property that do not apply generally to other property in the same vicinity or district. Such conditions may include topography, unique natural conditions, surroundings and size or unusual shape of the lot.*

**Staff Response #27**

The variance is requested to reduce the length of public improvements along the southern property boundary (see Exhibit I). Applicant's statement:

*Six bay ambulance garage for Medic One Station 99. Requesting a variance for full public improvements along Davis Street as a sidewalk, curb, and gutter would not be practical given the location / landscape of the area, fitting the Variance Decision Criteria.*

2. *The unusual circumstances or conditions and the strict application of this title cause the loss of a substantial property right possessed by the owners of other properties in the same vicinity or district.*

**Staff Response #28**

The construction of curb/gutter/sidewalk and ½ road improvements by the developer would be a burden on the City to maintain in the future, when the infrastructure is not justified by a present or foreseeable future need.

3. *The granting of a variance to remedy the hardship will not be detrimental to the public welfare or injurious to properties in the vicinity or district in which the property is located and the variance will be in general keeping with the purpose and intent of this title.*

**Staff Response #29**

The requested variance will not impact public welfare or negatively impact adjacent properties or the district. All submitted information and staff research have determined this proposal is consistent with the intent of this title.

4. *The variance approved will be for the least amount that will make possible the legal use of the land, building or structure and will not provide a special privilege inconsistent with the limitations upon use of other properties in the vicinity or use district.*

**Staff Response #30**

The variance proposes to limit the required public improvements (curb/gutter/sidewalk and street improvements only – see Staff Response #7) to the intersection with Alpha Way (extension of West Davis Street), resulting in more than half of the length of the southern parcel boundary being improved (see Exhibit I).

5. *The variance will not adversely affect the realization of the comprehensive plan.*

### **Staff Response #31**

The proposed development is consistent and compatible with the applicable goals, policies and objectives of the comprehensive plan. The variance will not have an adverse impact on the realization of the comprehensive plan for this area. See Exhibit V.

6. *The need for the variance was not caused by the actions of the applicant or property owner.*

### **Staff Response #32**

Adjacent properties do not require the use of curb/gutter/sidewalk along this section of undeveloped right of way. The property owners/applicant did not create the condition that has resulted in the undeveloped right of way, which the City does not have plans to develop.

## ***STATE ENVIRONMENTAL POLICY ACT (SEPA)***

SEPA was processed for the project and a Determination of Nonsignificance was issued on June 2, 2020 (SEP-2020-004). See Exhibit III.

## ***AGENCY AND PUBLIC COMMENTS***

*Comments received will be included in the final permit package.*

## ***PERMITS AND APPROVALS***

Pre-application Review	PREAP-2020-003
Boundary Line Adjustment	BLA-2020-003
SEPA	SEP-2020-004
Site & Design Review	SDR-2020-004
Conditional Use Permit	CUP-2020-001
Variance	VAR-2020-001
Building Permit	TBD

## ***STAFF CONDITIONS & RECOMMENDATION***

The following Staff conditions those which are not already designed into the project. Staff recommends the Planning Commission approval of the Site & Design Review, Conditional Use Permit, and Variance for the Hospital District's Ambulance Garage, contingent upon the following required Conditions:

1. **Pre-Construction.** The City shall be invited to the pre-construction meeting.
2. **Construction Methods.** The applicant shall adhere to conditions within the Interim Grading Authorization found in Exhibit IV, throughout construction, including maintaining and modifying BMPs as necessary.
3. **Landscaping.** The applicant's final landscaping plan shall be approved by the City before work may commence. Landscaping will adhere to [CEMC 17.64](#). This requirement includes screening of ground-level mechanical equipment as stated in Staff Response #12 above. Construction of landscaping elements may require inspection of any subsurface irrigation lines or water line extensions onsite that may be required to adequately water landscaped areas, and should be coordinated with the City.
4. **Public Improvements.** Staff recommends approving the Variance and allowing the applicant to construct a 6-foot concrete curb/gutter/sidewalk system and 26-wide roadway improvements along the southern property boundary, on Davis Street, from South Pine Street to the intersection with Alpha Way. The curb line on Davis Street should be designed such that the face of curb is 16' offset from the centerline, as discussed during Pre-Application Review. Public improvements shall be coordinated through the City Engineer and Public Works Director to ensure pre-construction plan/design approval.
5. **Utilities.** A backflow device for water supply and fire lines will be required. The existing sewer manhole in the proposed curb line may need to be modified such that the casting lies within the sidewalk or roadway. Please coordinate with City Public Works.

6. **Lighting.** Lighting will be aimed downward to prevent disruption to adjacent roadways and properties. Temporary lighting during construction will avoid impacts as much as possible.
7. **Garbage Collection/Storage.** A storage area for garbage and recycling containers shall be provided. The area shall be fully screened by a fence, wall, landscaping or combination thereof. Storage areas may not be located in a public right-of-way and where an alley serves the site, shall only be accessed from the alley. Garbage shall not be permitted to leave the site except by standard garbage collection.
8. **Building.** Building code requirements will be handled during the building permit process.
9. **Building Materials.** Predominant building materials shall be those materials that are characteristic of the historic buildings in the city or characteristic of central Washington, such a brick, wood, native stone, and tinted and textured masonry. Architectural methods, such as parapets, shall be used to conceal flat roofs. Mansard roofs are prohibited.
10. **Construction Hours/Days.** Construction of the facility will be permitted Monday-Friday 7am-10pm, unless special permission is received from the City to deviate from these hours.



## **EXHIBIT I. COMPLETE APPLICATION**





119 West First Street  
Cle Elum, WA 98922  
Telephone · (509) 674-2262  
Fax · (509) 674-4097  
www.cityofcleelum.com



Stamp & initial

Received 7/6/2020  
by Lucy Temple via email

## SITE AND DESIGN REVIEW APPLICATION

This application is required for most non-single family development within the city.

*The purpose of this permit is to assist in regulating the grading, excavation and filling of land in order to minimize erosion and sedimentation of watercourses and wetlands, minimize the need for and maintenance of drainage facilities, minimize adverse effects on ground and surface waters, minimize their potential for earth slides and slippage, and maintain the maximum natural vegetation. See [CEMC 17.76](#) for additional information.*

### OFFICIAL USE ONLY

<b>Permit #:</b>	SDR-2020 -004
<b>Staff Person:</b>	Lucy Temple
<b>Fee Total:</b>	\$525.00
<b>Related Permits:</b>	PREAP, BLA

### Applicant

Name: Kittitas Valley Healthcare, Kittitas County Public Hospital District #2

Mailing Address: 603 South Chestnut Street, Ellensburg, WA 98926

Phone Number: Office (509) 933-8625,  
Cell (509) 961-9505

Email: rurlacher@kvhealthcare.org

Property Owner Same as Applicant ☒

Name:

Address:

Phone Number:

Email:

### Project Information

Project Name: Ambulance Garage

Project Location Address: 111 Pine Street

Assessor's Parcel No. 484135

Zoning: Commercial

### Description of project:

This project is for the construction of a new single story 8,500 SF ambulance garage and staff quarters building. (If eaves and soffits are included, 10,574SF). The building will be wood framed structure with a sloping metal roof. Exterior finishes will be cement based material in board and batten and shingle style siding with some areas using stone or masonry finishes.

Site improvements will occur within the approximately 1.53 acre project boundary including an ambulance driveway on the west side of the project site and also off-street parking area on the east side of the project site. This project will also include site improvements, natural gas, domestic water, fire water service, sewer service, electrical service, and landscaping.

Site and Design Review Application Criteria <sup>1</sup>		
1.	Written narrative description of-uses, types of structures proposed, hours of operation, abutting properties, proposed access, frequency of deliveries, and construction schedule, including any proposed phasing of development	
2.	Two hard copies and one electronic copy (PDF) of an existing conditions plan drawn to a minimum scale of one inch equals two hundred feet on a sheet no larger than twenty-four inches by thirty-six inches and including one reduced size copy no larger than legal size. The existing conditions plan shall contain the following features	
	a.	The subject property boundaries See Encompass Sheets 1-4 of 4.
	b.	Dimensions and size See Encompass Sheets 1-4 of 4.
	c.	Current structural or landscape setbacks See Encompass Sheets 1-4 of 4.
	d.	Location of existing on-site driveways and access points within one hundred feet of the subject site See Encompass Sheets 1-4 of 4, and See 04-23-20 G Earth view.
	e.	Location and dimension of any on-site structures See Encompass Sheets 1-4 of 4.
	f.	Location of utilities See Encompass Sheets 1-4 of 4.
	g.	Location of the nearest fire hydrant See Encompass Sheets 1-4 of 4.
	h.	Location of existing structures within one hundred feet of the site See 04-23-20 G Earth view.
	i.	Locations and dimensions of adjacent public or private roads and right-of-way or easements See Encompass Sheets 1-4 of 4.
	j.	Approximate location of significant natural features including slopes over <del>twenty-five</del> percent, waterbodies, rock outcrops, wetland areas, areas of significant vegetation, the location of trees or groups of trees over six inches in diameter, and the location of any critical areas See Encompass Sheets 1-4 of 4, and see 04-23-20 G Earth view.
3.	Two hard copies and one electronic copy (PDF) of a site plan drawn to a minimum scale of one inch equals two hundred feet on a sheet no larger than twenty-four inches by thirty-six inches and including one reduced size copy no larger than legal size. The site plan shall contain the following information:	
	a.	The subject property boundaries See Civil Sheets C3.0.
	b.	Dimensions and size See Civil Sheets C3.0.
	c.	Location See Civil Sheets C3.0.
	d.	Dimensions and height of all proposed structures See Architectural Sheets A4.1 and A4.2.
	e.	Location of building accesses See Civil Sheets C3.0, and Architectural Sheet A2.1.
	f.	Proposed setbacks See Civil Sheets C3.0.

Note: the site is to be logged by Owner prior to the Owner signing a construction contract for this building and site development.

	g.	Proposed phasing	No phasing.
	h.	Proposed landscaping	See Landscape Sheet.
	i.	Location and dimensions of vehicle and pedestrian access points and circulation routes	See Civil Sheets C3.0.
	j.	The location of all proposed on-site parking including provisions for handicap parking	See Civil Sheets C3.0.
	k.	Any easements	See Civil Sheet C5.0.
	l.	The location of any proposed lights, and any other proposed site improvements	
4.	Two hard copies and one electronic copy (PDF) of proposed architectural elevations.		See Arch Sheets
5.	Preliminary grading, erosion control and stormwater plan		See Civil Sheets C2.0, C2.1 and
6.	Preliminary utility plan		See Civil Sheet C5.0.
7.	Any other items that are necessary to review the proposed development		
8.	Payment of a fee that is consistent with the City of Cle Elum’s fee schedule		
Decision Criteria			
1.	In conducting the design review process, it shall be the responsibility of the planning director or designee to review designs for compliance with all the provisions of the zoning code and any other applicable regulations that affect the design of a development.		
2.	In reviewing design plans the planning director shall consider the following standards have been met. This section does not list all the standards against which the application will be reviewed, the following are listed to indicate the various requirements of development. Failure to comply with – the listed requirements or other requirements not listed here shall be ground for denial of design review approval.		
	a.	The proposed use is permitted within the zoning district in which it is located.	
	b.	The proposed design meets the dimensional requirements of the zoning district including lot, yard, building, height and other requirements.	
	c.	The proposed design meets landscaping, screening and buffering standards of <a href="#">CEMC 17.64</a> .	
	d.	The proposed design meets the off-street parking and loading requirements of <a href="#">CEMC 17.56</a> .	
	e.	The standards of CEMC <a href="#">18.01</a> , maintenance, enhancement and preservation of critical areas are met.	
	f.	Public improvements are completed in compliance with applicable code sections.	
	g.	Adequate and safe provisions are made for pedestrian and vehicle access.	

See Electrical Sheet E0.1 for site lights.  
Civil for other improvements.

See Architectural Sheets A4.1 and A4.2.

See Civil Sheets C2.0, C2.1 and C4.0.

See Civil Sheet C5.0.

See Architectural for exterior perspectives Sheet G0.5.

	h.	All conditions of applicable previous approvals (SEPA review, CUP, rezones) are met.
	i.	All applicable conditions and criteria found in other Cle Elum Municipal Code titles are met.
<b>Authorization</b>		
<p><i>The undersigned hereby certifies that this application has been made with the consent of the lawful property owner(s) and that all information submitted with this application is complete and correct. False statements, errors, and/or omissions may be sufficient for denial of the request. This application gives consent to the City to enter the properties listed above for the purposes of inspecting and verifying information presented in this application. The applicant further agrees to pay all fees specified in the City's fee schedule for the permit and expenses associated with the review of the application. The applicant gives consent to the City to enter the property(s) listed above for the purpose of inspecting and verifying information presented in this application.</i></p>		
Applicant Signature:		Signed Application sent separately Date:

1. The application will not be processed and deemed incomplete if not all required criteria is not attached to application on the day of submission. The Planner may chooses to wave some of the required criteria. If any of the required criteria is provided in another permit please cite that permit.



Principals

Rod Knipper, AIA  
Dennis W. Dean, AIA  
Brian J. Andringa, AIA

July 23, 2020

Lucy Temple  
City of Cle Elum  
119 West First Street  
Cle Elum, WA 98922

Re: Kittitas County Public Hospital District #2 - Ambulance Garage  
Project No. 201838

Dear Lucy:

This is the project's written narrative as requested on the Design Review Application.

This project is a new ambulance garage and crews' quarters for the Kittitas County Public Hospital District #2. The project is to be located at 111 Pine Street in Cle Elum, WA.

The project consists of the construction of a new single story 8,500 SF building. (If eaves and soffits are included, the area is 10,574 SF). The building will be wood framed structure with a sloping metal roof. Exterior finishes will be cement based material in board and batten and shingle style siding with some areas using stone or masonry finishes. The aesthetic intent of the building design and finishes is to establish and reinforce a campus "look" for the buildings on the campus.

Site improvements will occur within the approximately 1.53 acre project boundary including an ambulance driveway on the west side of the project site and also off-street parking area on the east side of the project site. This project will also include site improvements, natural gas, domestic water, fire water service, sewer service, electrical service, and landscaping.

Height of the building structure is 35'-1". (Refer to Exterior Elevation, Sheet A4.1 and A4.2) The facility will operate 24 hours a day 365 days a year. Ambulances will be dispatched from the facility to respond to emergency response calls as needed. Deliveries will occur for supplies primarily during business hours. Deliveries are to the door located on the northwest corner of the building, just to the north of the ambulance garage doors.


This project is adjacent to the existing KVH Family Medicine clinic to the east, the Hospice house to the north, single family and apartment buildings to the south across West Davis Street, a vacant lot and commercial development (McDonald's) across S Pine Street.

The project site is currently populated with numerous trees, and it is the intent of the property Owner to log the site prior to the Owner signing a construction contract for this building and site development. The logging of the site is to occur in August of this year, with construction starting approximately the beginning of September, and is expected to last approximately 9 – 10 months with completion occurring around May-June of 2021.

Lucy Temple  
KDF Project No. 201838  
07/23/2020  
Page 2

There is no phasing associated with this project.

Sincerely,

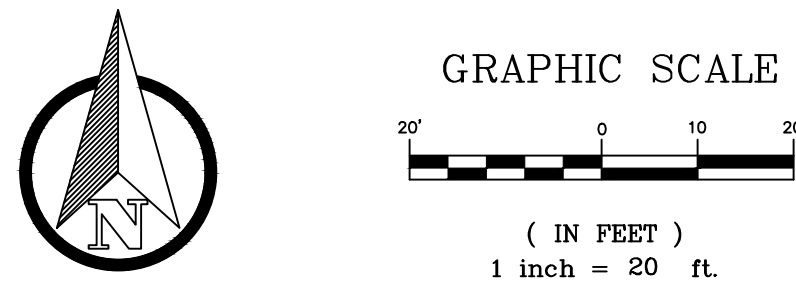


Erik D. Dodge  
Architect

V:\Projects\2018\201838 KCPH Dist 2 - Ambulance Garage\4.0 Project Information\4.7 Code & Permitting\4.7.8 Permits\Site And Design Review  
Application\Written Project Narrative - Ambulance Garage.Docx







SITE KEY NOTES:

- 1 CONSTRUCT NEW ON-SITE AC PAVEMENT PER DETAIL 1 ON SHEET C7.0
- 2 CONSTRUCT NEW ON-SITE VERTICAL CONCRETE CURB AND SIDEWALK PER DETAIL 3 ON SHEET C7.0
- 3 CONSTRUCT NEW ON-SITE CONCRETE VERTICAL CURB PER DETAIL 5 ON SHEET C7.0
- 4 CONSTRUCT NEW ON-SITE CONCRETE SIDEWALK/PATIO PER DETAIL 2 ON SHEET C7.0
- 5 CONSTRUCT NEW ON-SITE CONCRETE SLAB PER DETAIL 4 ON SHEET C7.0
- 6 CONSTRUCT NEW EDGE OF PAVEMENT PER DETAIL 6 ON SHEET C7.0
- 7 CONSTRUCT NEW GRASSCRETE ACCESS DRIVE. GRASSCRETE SHALL BE GRASSPAVE2 FIRELANE BY INVISIBLE STRUCTURES OR APPROVED EQUIVALENT. GRASSPAVE2 SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. SUBBASE SHALL BE 10" THICK LAYER OF CRUSHED SURFACING TOP COURSE COMPACTED TO AT LEAST 95% MAXIMUM DENSITY PER ASTM D1557 IN MAXIMUM 6" LIFTS. NO GRASSCRETE EDGING IS PROPOSED.
- 8 CONSTRUCT NEW TRASH ENCLOSURE CONCRETE PAD PER DETAIL 4 ON SHEET C7.0. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION REGARDING THE TRASH ENCLOSURE.
- 9 PROVIDE AND INSTALL NEW ADA PARKING SIGN PER DETAIL 14 ON SHEET C7.0
- 10 PROVIDE AND INSTALL NEW CONCRETE OR RECYCLED RUBBER WHEEL STOP, TYP.
- 11 SAWCUT EXISTING AC PAVEMENT PER DETAIL 7 ON SHEET C7.0
- 12 NEW 4" WIDE PARKING STRIPES - WHITE REFLECTIVE PAINT, TYP.
- 13 CONSTRUCT CONCRETE MOW STRIP PER DETAIL 10 ON SHEET C7.0
- 14 PROVIDE AND INSTALL YELLOW COLOR TRUNCATED DOME TILES
- 15 CONSTRUCT NEW PUBLIC RIGHT-OF-WAY AC PAVEMENT RESIDENTIAL ROADWAY PER CITY STD DETAIL ST-1
- 16 CONSTRUCT NEW PUBLIC RIGHT-OF-WAY CONCRETE CURB AND GUTTER PER CITY STD DETAIL ST-2
- 17 CONSTRUCT NEW PUBLIC RIGHT-OF-WAY CONCRETE SIDEWALK PER CITY STD DETAILS ST-4 & ST-5
- 18 CONSTRUCT NEW CONCRETE DRIVEWAY APPROACH PER CITY STD DETAIL ST-6
- 19 EXISTING CURB, GUTTER AND SIDEWALK TO BE REMOVED. CONSTRUCT NEW CONCRETE COMMERCIAL DRIVEWAY APPROACH.
- 20 CONSTRUCT NEW CONCRETE CURB RAMP TYPE PARALLEL "A" PER WSDOT STD DETAIL F-40.12-03
- 21 CONSTRUCT NEW GRAVEL ACCESS ROAD PER DETAIL 8 ON SHEET C7.0, TYP.
- 22 CONSTRUCT AC PAVED ADA SIDEWALK TRANSITION
- 23 EXISTING DRIVEWAY ENTRANCE SHALL BE REMOVED. CONSTRUCT NEW CURB, GUTTER AND SIDEWALK PER CITY STD DETAILS.
- 24 PROVIDE AND INSTALL NEW PARKING LOT LIGHT FIXTURE. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 25 CONSTRUCT MIN. 1" WIDE CONCRETE CURB KNOCKOUT FOR DRAINAGE PURPOSES PER DETAIL 12 ON SHEET C7.0

SHEET NOTES:

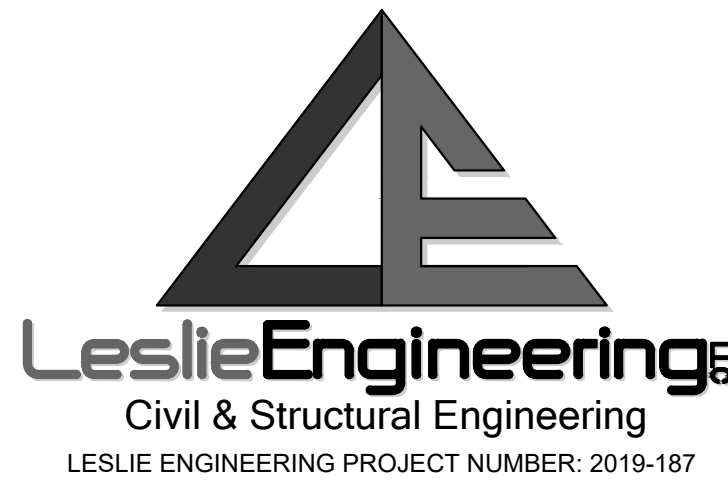
1. REFER TO GENERAL PLAN NOTES ON SHEET C1.1.
2. REFER TO ARCHITECTURAL PLANS BY KDA ARCHITECTURE FOR NEW BUILDING INFORMATION AND DESIGN. DEMOLITION AND TREE REMOVAL INFORMATION, BUILDING ROOFS SHALL BE COATED WITH INERT, NON LEACHABLE MATERIALS.
3. CONTRACTOR SHALL COMPLY WITH MANUFACTURERS' INSTALLATION PROCEDURES AND RECOMMENDATIONS FOR CONSTRUCTION OF ALL IMPROVEMENTS.
4. GROUNDWATER IN THE VICINITY IS DEEP AND DEWATERING IS NOT EXPECTED. CONTRACTOR SHALL ADDRESS DEWATERING AS NECESSARY.
5. ELECTRICAL CONDUITS, TRANSFORMERS, VAULTS AND OTHER ELECTRICAL INFORMATION SHALL BE PREPARED BY THE ELECTRICAL CONSULTANT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
6. LANDSCAPE AND IRRIGATION DESIGN AND PLANS SHALL BE PREPARED BY THE LANDSCAPE ARCHITECT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. PARKING LOT LIGHTS ARE SHOWN FOR REFERENCE ONLY. PARKING LOT ILLUMINATION, INCLUDING LIGHT LOCATIONS AND TYPES, SHALL BE COORDINATED WITH THE ELECTRICAL CONSULTANT PRIOR TO CONSTRUCTION.
8. CONCRETE WORKS WITHIN PUBLIC RIGHT-OF-WAY AND ON-SITE SHALL CONSIST OF 4,500 PSI CONCRETE WITH 0.45 W/C RATIO, 6% AIR ENTRAINMENT, 3/4" MAX. AGGREGATE SIZE.
9. ADJUST THE SAWCUT LINE AS NECESSARY TO PROVIDE A MINIMUM 5' WIDE LANDSCAPE ISLAND OR SAWCUT ALONG THE NEXT CLOSEST PARKING STALL, WHICHEVER IS GREATER.

HATCH LEGEND:

- PROPOSED AC PAVEMENT HATCH (1) C7.0
- PROPOSED CONCRETE SURFACING HATCH (2) C7.0 (3) C7.0 (3) C7.0
- PROPOSED GRASSCRETE SURFACING HATCH
- PROPOSED GRAVEL SURFACING HATCH (8) C7.0
- PROPOSED LANDSCAPING HATCH - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION

TOPOGRAPHIC AND BOUNDARY NOTE:

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REVISION	DATE

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Ambulance  
Garage

KCPH District 2

505 Power Street  
Cle Elum, WA 98922

DATE: 6/30/2020  
SCALE: As Indicated  
DRAWN: DH  
JOB: 201838

Site Layout  
& Horizontal  
Control Plan

SHEET:

C3.0





**EARTHWORK NOTES:**

- IMPORT = 0± CY  
EXPORT = 0± CY  
FILL = 1,153± C.Y.  
CUT = 1,455± C.Y.  
(IF ZERO, INDICATE 0)
1. THE EARTHWORK QUANTITIES SHOWN ARE PROVIDED FOR THE PERMITTING AND PLANNING PURPOSES ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CARRY OUT THE CUT/FILL, IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES SHOWN ON THE PLANS. CONTRACTOR IS TO DELIVER TO OWNER THE PROJECT IN A COMPLETE AND OPERATIONAL MANNER. EARTHWORK QUANTITIES SHOWN ON THE PLANS OR REPRESENTED BY THE ENGINEER ARE APPROXIMATE AND ARE FOR PERMITTING AND PLANNING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ANY INVESTIGATION OR STUDIES THAT ARE REQUIRED BY THE CONTRACTOR TO SATISFY THIS REQUIREMENT. NO ADDITIONAL COMPENSATION SHALL BE PAID FOR SAID CUT/FILL AND/OR IMPORT/EXPORT.
  2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE ALL MATERIAL AND LABOR REQUIRED WITHIN THE BID PRICE, FOR EARTHWORK CONSTRUCTION, TO CARRY OUT THE CUT/FILL AND/OR IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES SHOWN ON THE PLANS. CONTRACTOR IS TO DELIVER TO OWNER THE PROJECT IN A COMPLETE AND OPERATIONAL MANNER. EARTHWORK QUANTITIES SHOWN ON THE PLANS OR REPRESENTED BY THE ENGINEER ARE APPROXIMATE AND ARE FOR PERMITTING AND PLANNING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ANY INVESTIGATION OR STUDIES THAT ARE REQUIRED BY THE CONTRACTOR TO SATISFY THIS REQUIREMENT. NO ADDITIONAL COMPENSATION SHALL BE PAID FOR SAID CUT/FILL AND/OR IMPORT/EXPORT.

**SHEET NOTES:**

1. REFER TO GENERAL PLAN NOTES ON SHEET C1.1.
2. REFER TO ARCHITECTURAL PLANS BY KDA ARCHITECTURE FOR NEW BUILDING INFORMATION AND DESIGN, DEMOLITION AND TREE REMOVAL INFORMATION. BUILDING ROOFS SHALL BE COATED WITH INERT, NON LEACHABLE MATERIALS.
3. CONTRACTOR SHALL COMPLY WITH MANUFACTURERS' INSTALLATION PROCEDURES AND RECOMMENDATIONS FOR CONSTRUCTION OF ALL IMPROVEMENTS.
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5. ELECTRICAL CONDUITS, TRANSFORMERS, VAULTS AND OTHER ELECTRICAL INFORMATION SHALL BE PREPARED BY THE ELECTRICAL CONSULTANT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
6. LANDSCAPE AND IRRIGATION DESIGN AND PLANS SHALL BE PREPARED BY THE LANDSCAPE ARCHITECT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. SEE SHEET C4.2 FOR ADDITIONAL STORMWATER MANAGEMENT FACILITY INFORMATION.

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**Ambulance  
Garage**

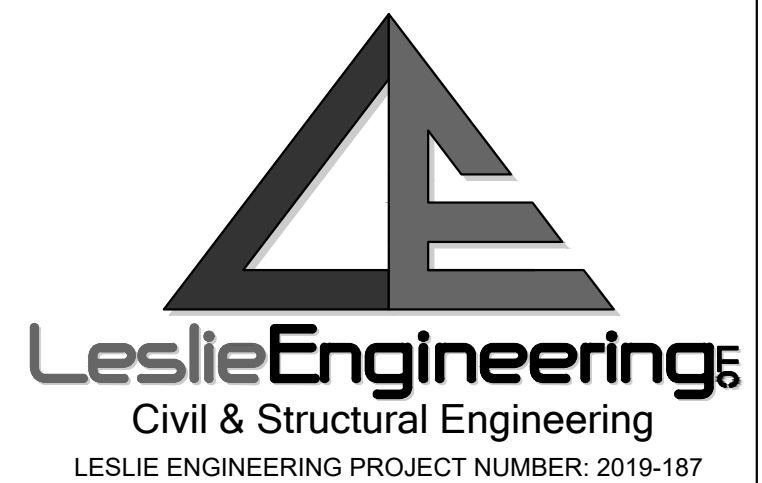
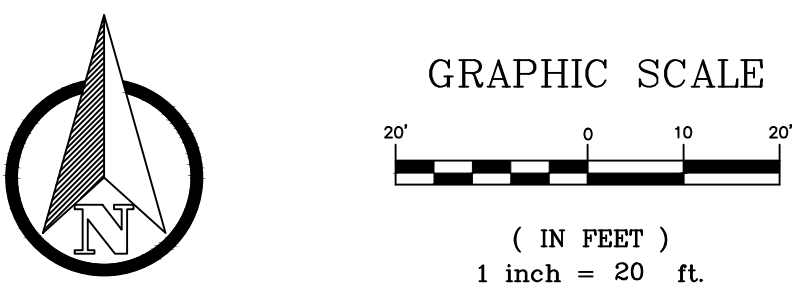
KCPH District 2

505 Power Street  
Cle Elum, WA 98922

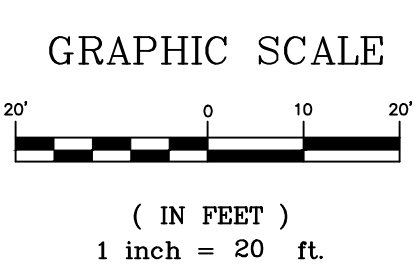
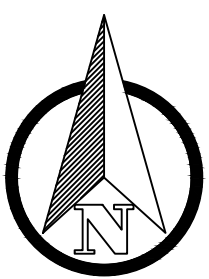
DATE: 6/30/2020  
SCALE: As Indicated  
DRAWN: DH  
JOB: 201838

**Grading &  
Drainage Plan**

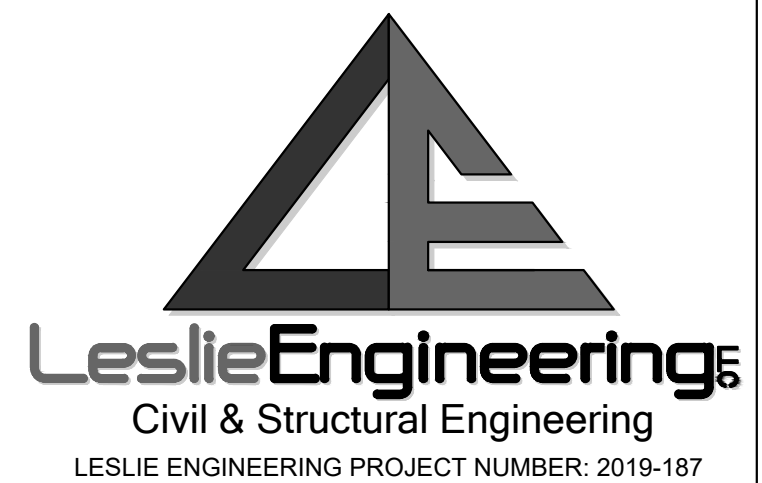
SHEET:  
**C4.0**







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- SEWER KEY NOTES:**
- 1 P.O.C. TO BLDG 4" SS SERVICE 4"IE=2007.50 SEE PLUMBING DWGS FOR CONTINUATION
  - 2 13 LF~4" SS SERVICE @ S=5.0%
  - 3 SSCO, RIM 4"IE=2006.85
  - 4 13 LF~4" SS SERVICE @ S=5.0% MIN.

- WATER KEY NOTES:**
- 1 PROPOSED WATER METER BOX PER CITY OF CLE ELUM STANDARDS. WATER METER SHALL BE PROVIDED AND INSTALLED BY CITY OF CLE ELUM.
  - 2 POINT OF CONNECTION TO PROPOSED BUILDING PLUMBING (DOMESTIC AND FIRE WATER AND FDC SERVICE) AT PROPOSED MECHANICAL ROOM. SEE SHEET NOTE B.
  - 3 PROVIDE AND INSTALL: 1-6" 90° BEND (M&MJ) W/RESTRAINED JOINTS
  - 4 6 LF~6" PVC C900 DR-18 FIRE WATER SERVICE W/RESTRAINED JOINTS
  - 5 3 LF~4" PVC C900 DR-18 FDC SERVICE W/RESTRAINED JOINTS
  - 6 PROVIDE AND INSTALL: 1-4" 90° BEND (M&MJ) W/RESTRAINED JOINTS
  - 7 65 LF~4" PVC C900 DR-18 FDC SERVICE W/RESTRAINED JOINTS

- SHEET NOTES:**
1. REFER TO GENERAL PLAN NOTES ON SHEET C1.1.
  2. REFER TO ARCHITECTURAL PLANS BY KDA ARCHITECTURE FOR NEW BUILDING INFORMATION AND DESIGN, DEMOLITION AND TREE REMOVAL INFORMATION. BUILDING ROOFS SHALL BE COATED WITH INERT, NON LEACHABLE MATERIALS.
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  6. LANDSCAPE AND IRRIGATION DESIGN AND PLANS SHALL BE PREPARED BY THE LANDSCAPE ARCHITECT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
  7. CONTRACTOR SHALL POTHOLE AND VERIFY THE LOCATION AND DEPTH OF EXISTING SANITARY SEWER SERVICE PIPE PRIOR TO CONSTRUCTING THE PROPOSED ON-SITE STORM DRAIN SYSTEM TO ENSURE THAT APPROPRIATE CLEARANCES CAN BE MAINTAINED.
  8. FIRE RISER AND DETECTOR CHECK VALVE FOR THE FIRE WATER SERVICE AND BACKFLOW PREVENTOR FOR THE DOMESTIC WATER SERVICE ARE LOCATED IN THE MECHANICAL ROOM WITHIN THE NEW BUILDING. SEE PLUMBING/MECHANICAL PLANS FOR ADDITIONAL INFORMATION AND CONTINUATION.

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**Ambulance  
Garage**

KCPH District 2

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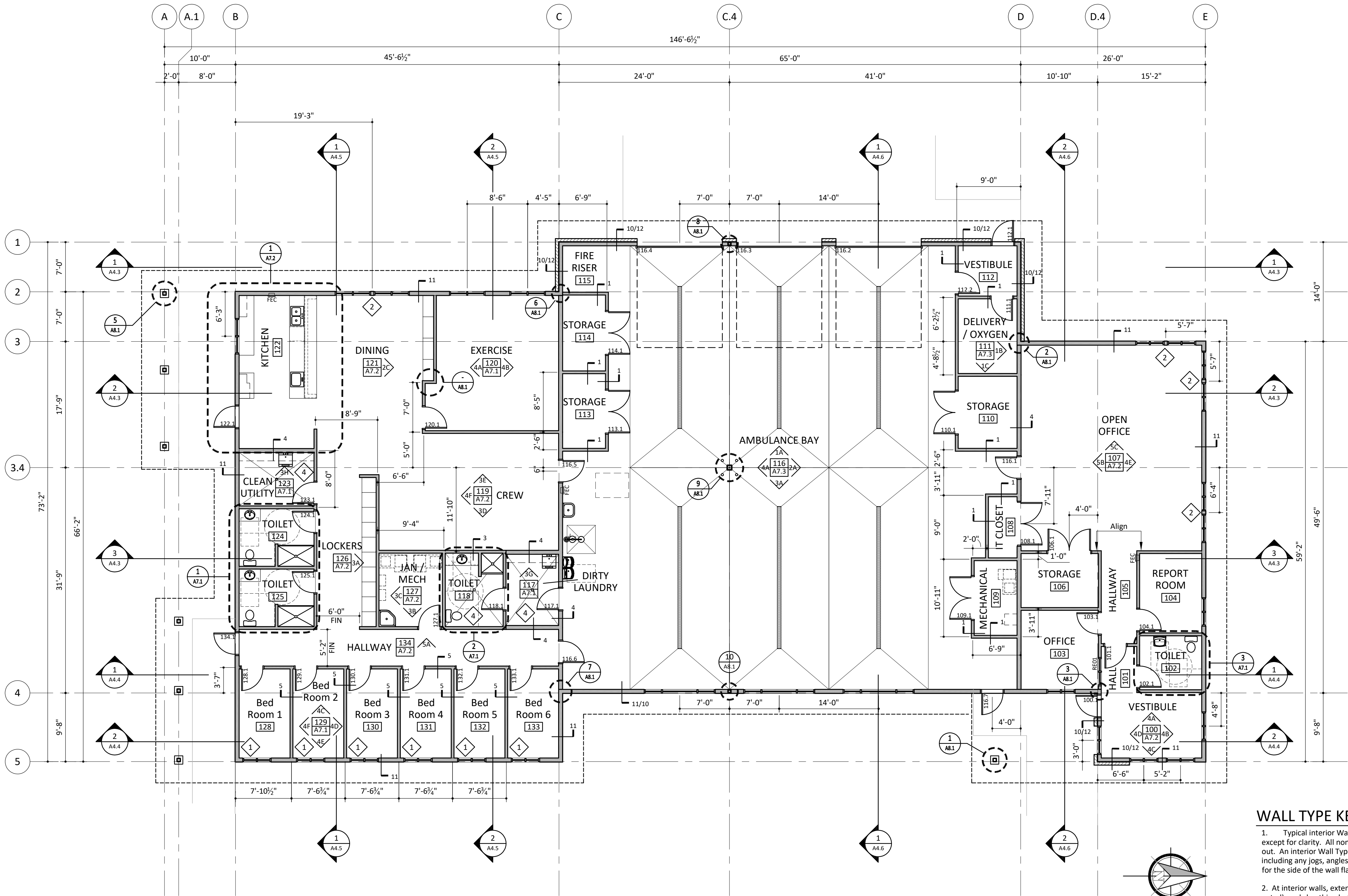
DATE: 6/30/2020  
SCALE: As Indicated  
DRAWN: DH  
JOB: 201838

Utility Plan

SHEET:  
**C5.0**



V:\Projects\2018\201838 KCPH Dist 2 - Ambulance Garage\6.0 Drawings\6.1 Architectural\6.1.3 CAD\6.1.3.5 Construction Documents\Monson Final\A201.dwg (D Sheet) Jul 14, 2020 - 8:00am By: ronderson



1 Floor Plan  
A2.1

1/8" = 1'-0"

MATERIAL KEYNOTES

SHEET KEYNOTES

- 1 Windows in Bed Rooms are to be installed 6" off east walls. Typical in each bedroom.
- 2 Grouped windows to be centered on given dimension. See Detail 9/A8.3.
- 3 Door centered on Gridline 3.4.
- 4 Slope floor to floor drain.

SHEET NOTES

WALL TYPE KEY

- Typical interior Wall Type "3" is not flagged except for clarity. All non-typical walls are called out. An interior Wall Type continues the full length, including any jogs, angles, recesses, or stub walls for the side of the wall flagged.
- At interior walls, extend studs, insulation (where noted), and sheathing bottom of roof trusses. Cut and fit all walls tight to beams, cuts, pipes, and other objects.
- All exterior framed walls to receive vapor barrier on interior side of framing.
- At walls with insulation, continue insulation full height of wall, UNO.
- All stud framing and furring 16" O.C. UNO.

WALL TYPE KEY  
Symbol Indicates Fill  
(No Symbol= No Fill)  
Number Indicates Wall Type

(E) Existing

INTERIOR WALL TYPES  
See G0.2 for description of wall types.

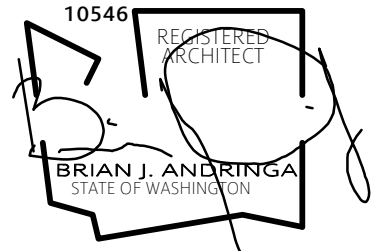
- Type 1 - Interior (2x4) Partition
- Type 2 - Interior (2x6) Partition
- Type 3 - Acoustic (2x4) Interior Partition
- Type 4 - Acoustic (2x6) Interior Partition
- Type 5 - 1 Hour Rated

EXTERIOR WALL TYPES  
See G0.2 for description of wall types.

- Type 10 - Exterior HardShingle
- Type 11 - Exterior Board and Batten
- Type 12 - Anchored Stone Veneer

REVISION	DATE

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Ambulance  
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Cle Elum, WA 98922

DATE: 06/30/20

SCALE: 1/8" = 1'-0"

DRAWN: RHM

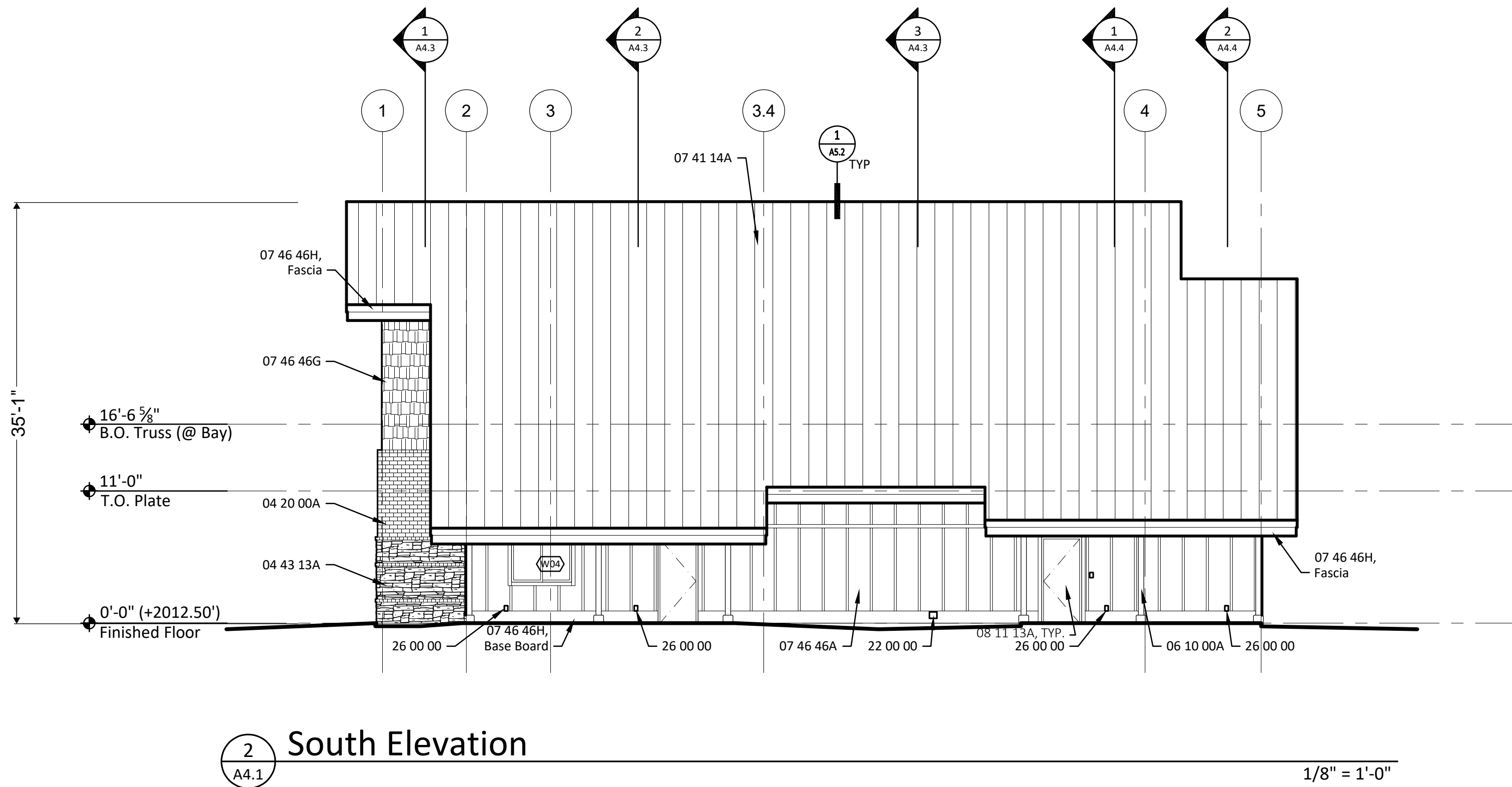
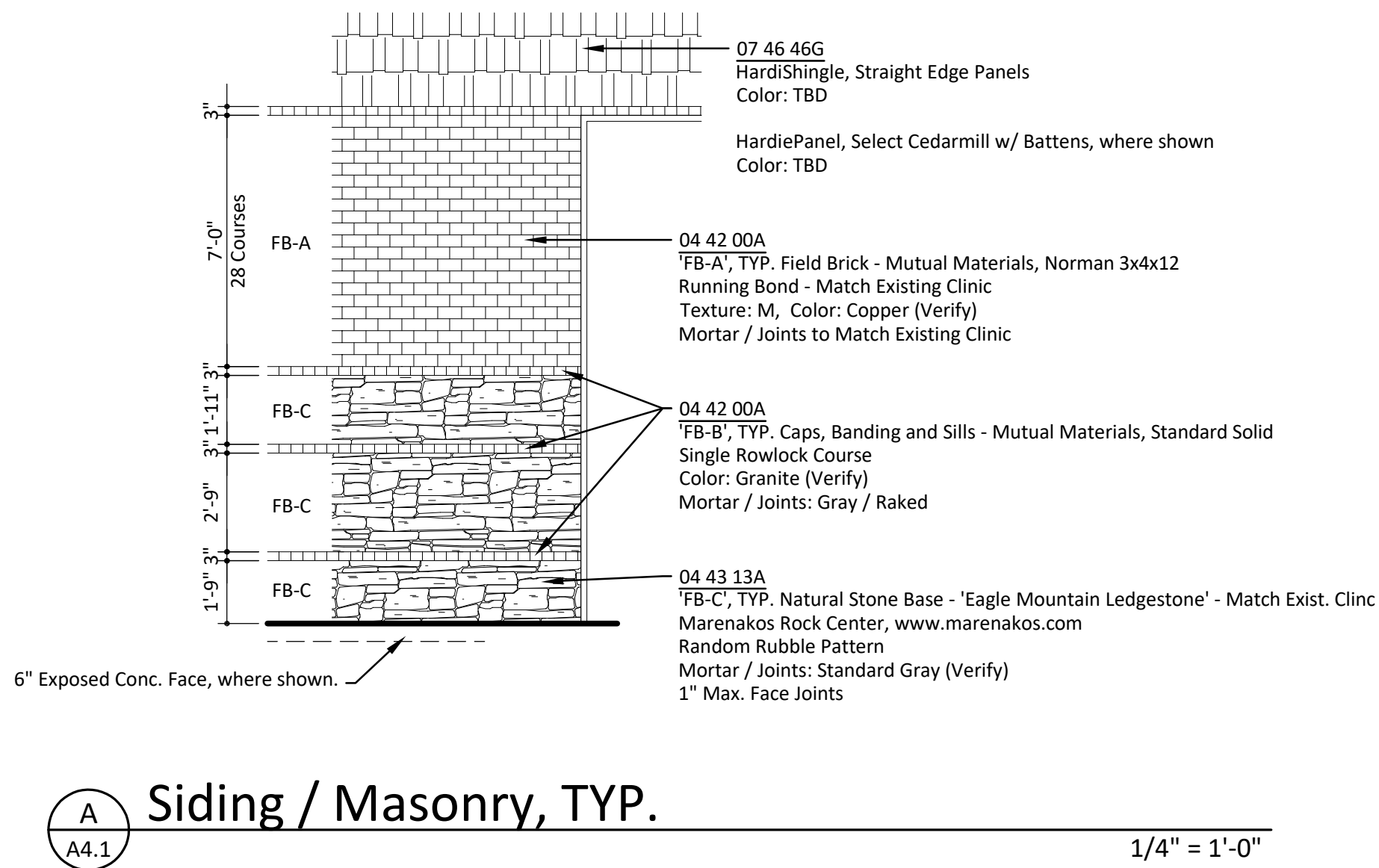
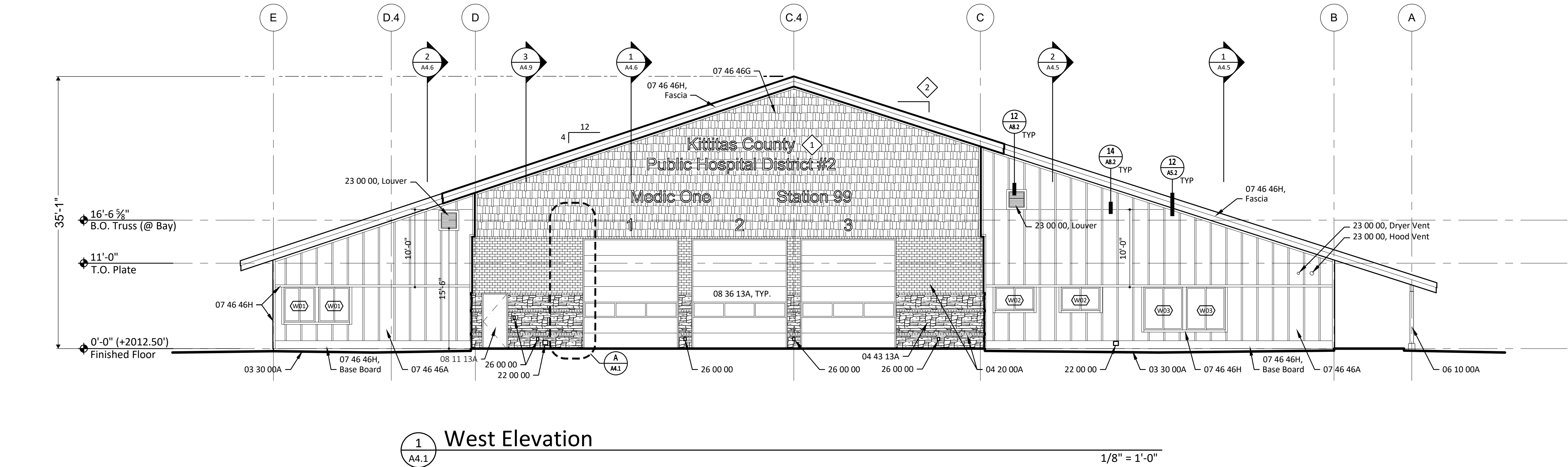
JOB: 201838

Floor Plan

SHEET:

A2.1

V:\Projects\2018\201838 KCPH Dist 2 - Ambulance Garage\6.0 Drawings\6.1 Architectural\6.1.3 CAD\6.1.3.5 Construction Documents\Monson Final\A4.1.dwg (D Sheet) Jul 14, 2020 - 8:02am By: ronderson

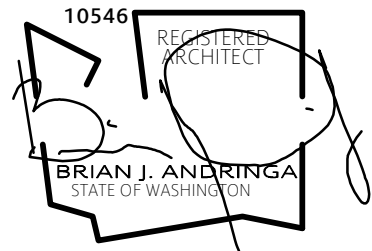


## MATERIAL KEYNOTES

- 03 30 00 Cast-In-Place Concrete  
A CIP Concrete
- 04 20 00 Unit Masonry  
A Clay Faced Brick
- 04 43 13 Anchored Stone Masonry Veneer  
A Anchored Stone Masonry Veneer
- 06 18 00 Glued-Laminated Construction  
A Structural Glued-Laminated Timber
- 07 41 14 Standing-Seam Metal Roofing  
A Standing-Seam Metal Roof Panels  
F Flashing & Trim
- 07 46 46 Fiber Cement Siding  
A Fiber Cement Siding  
G Shake Panels  
H Trim
- 08 11 13 Hollow Metal Doors and Frames  
A Hollow Metal Doors
- 08 36 13 Sectional Doors  
A Sectional Doors
- 22 00 00 Refer to Plumbing
- 23 00 00 Refer to HVAC
- 26 00 00 Refer to Electrical

REVISION	DATE

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## SHEET KEYNOTES

- 1 Signage to be provided by Owner. Coordinate placement and electrical requirements.
- 2 Slope on south side of building is to be calculated based on height of ridge and top plate elevations. Slope will be slightly less than 4:12 pitch.

## SHEET NOTES

1. All exposed concrete to have a light, sandblasted texture.

KDA ARCHITECTURE

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Ambulance  
Garage

KCPH District 2

Cle Elum, WA 98922

DATE: 06/30/20

SCALE: As Noted

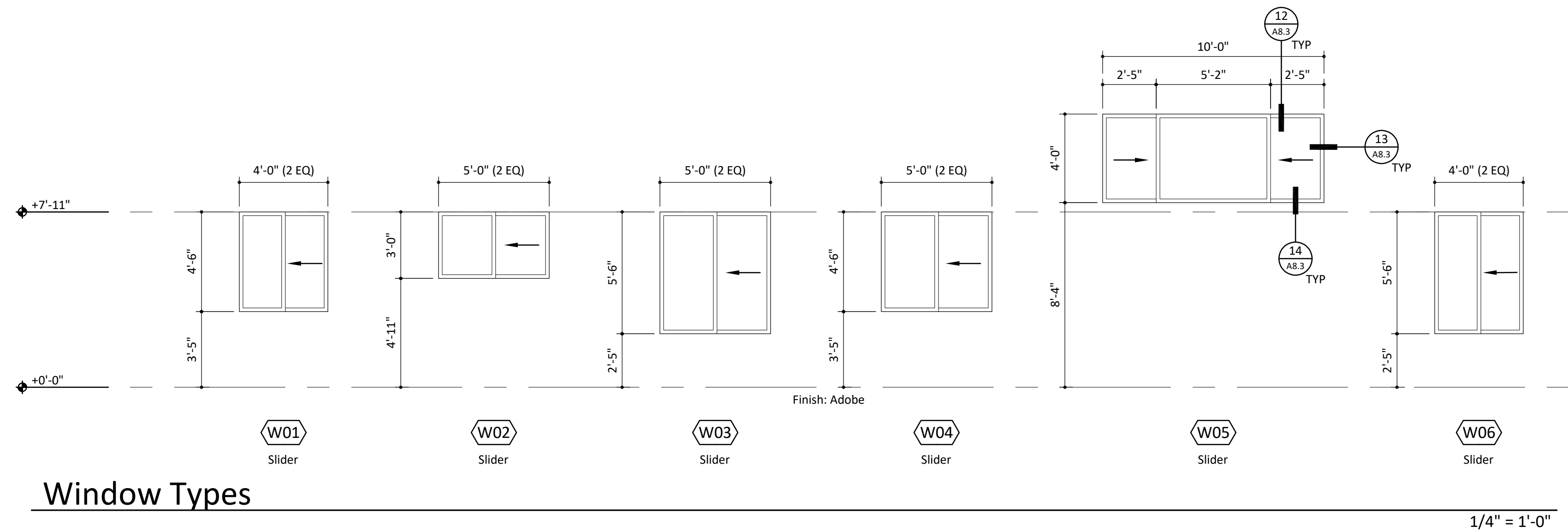
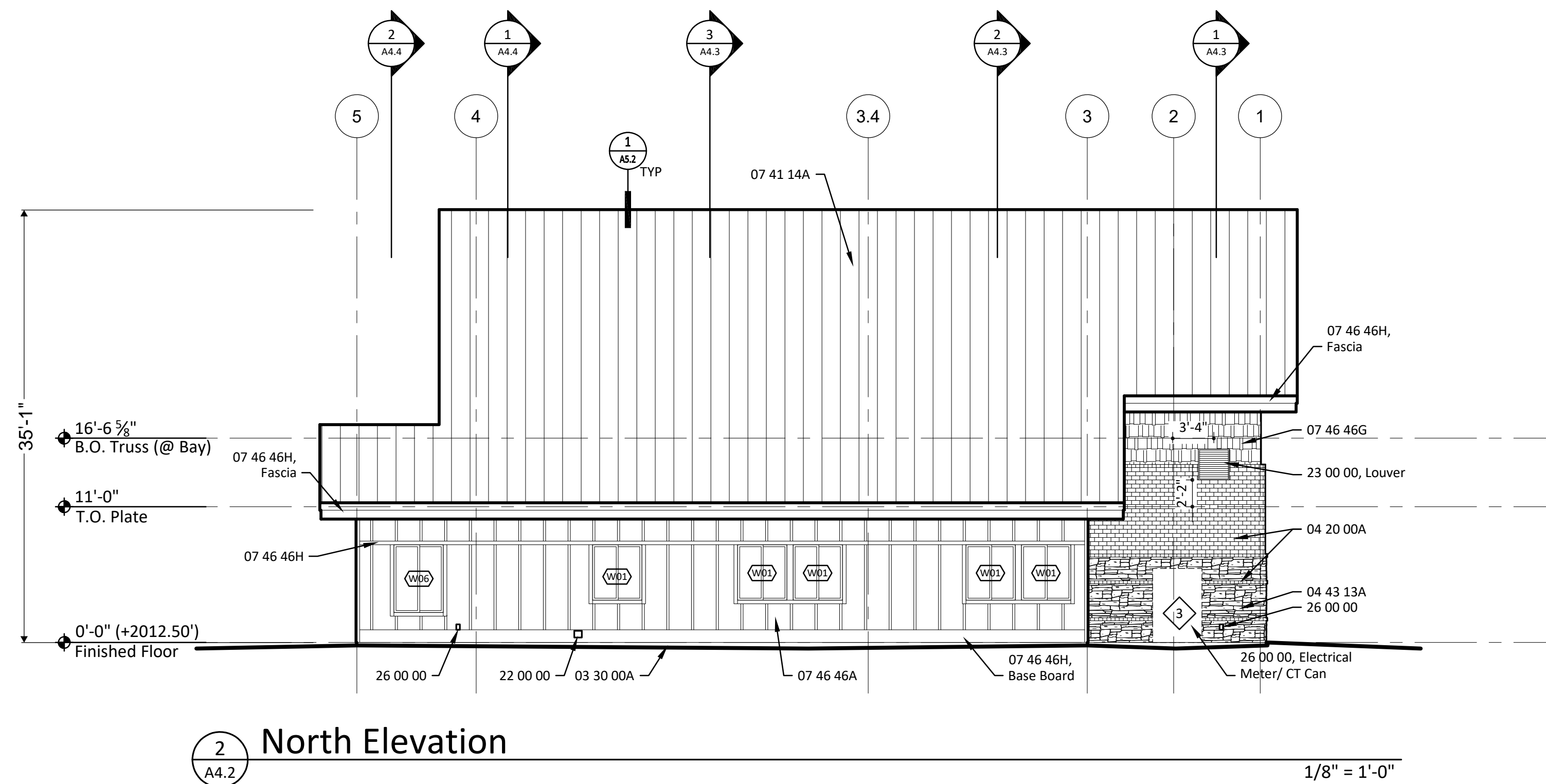
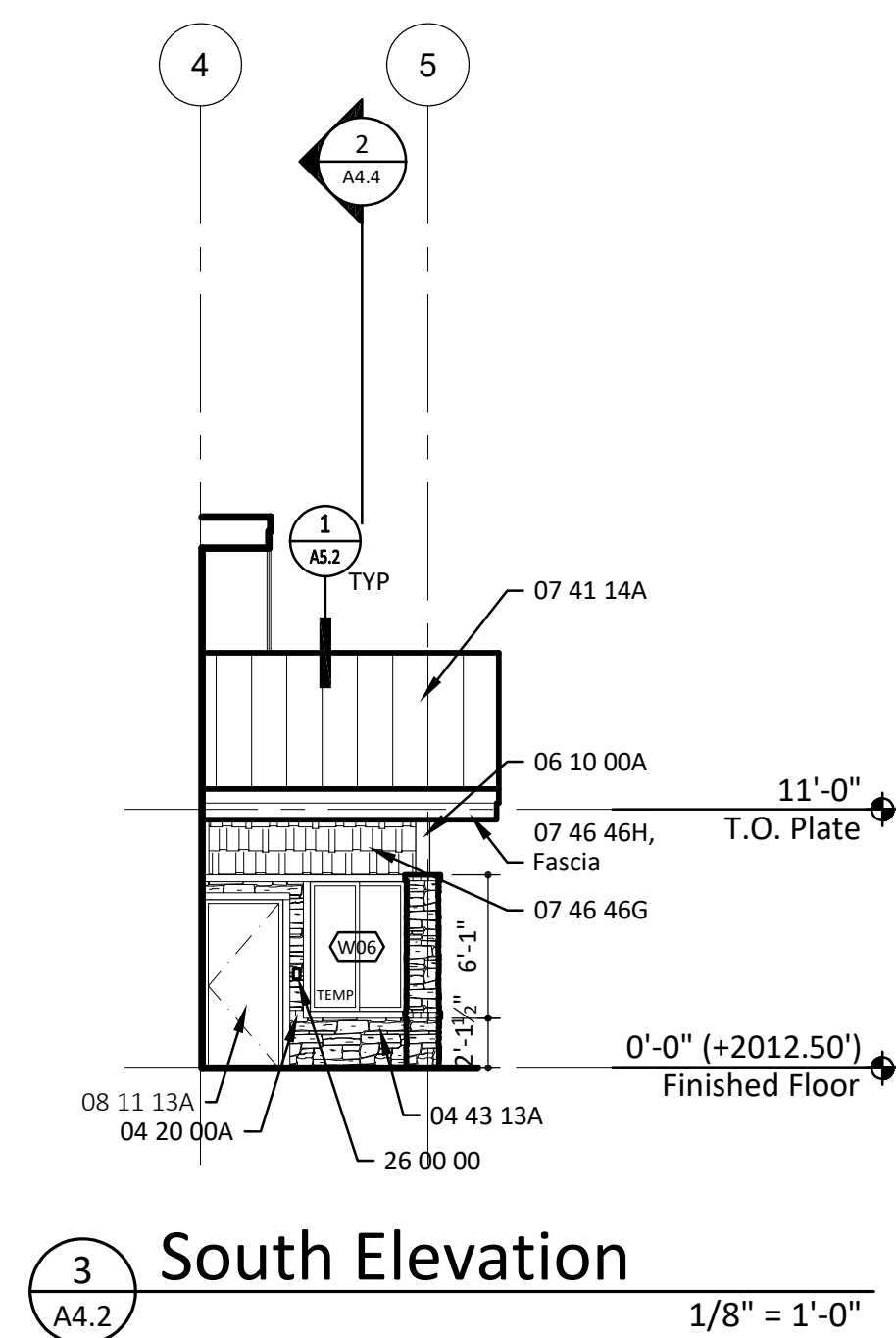
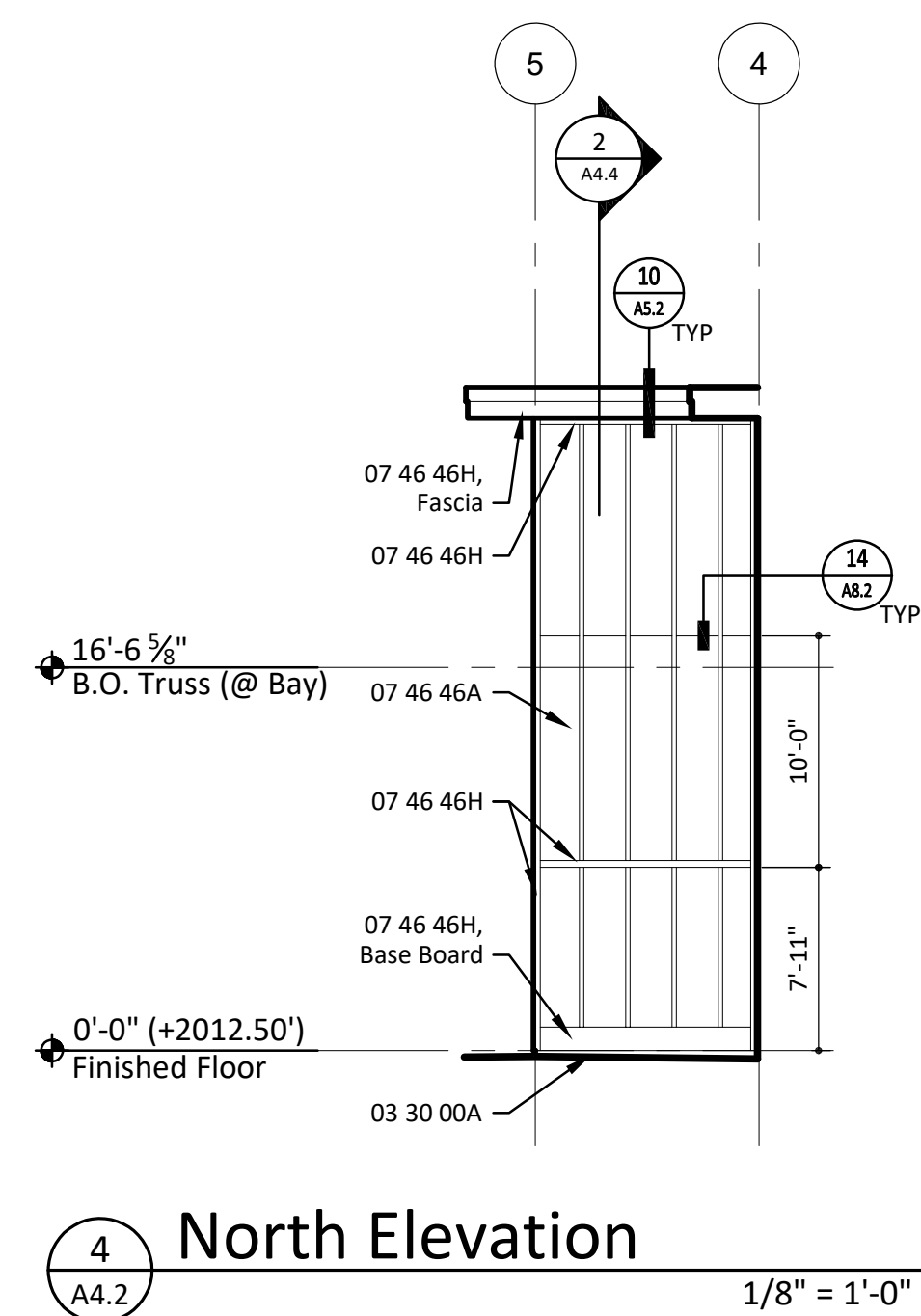
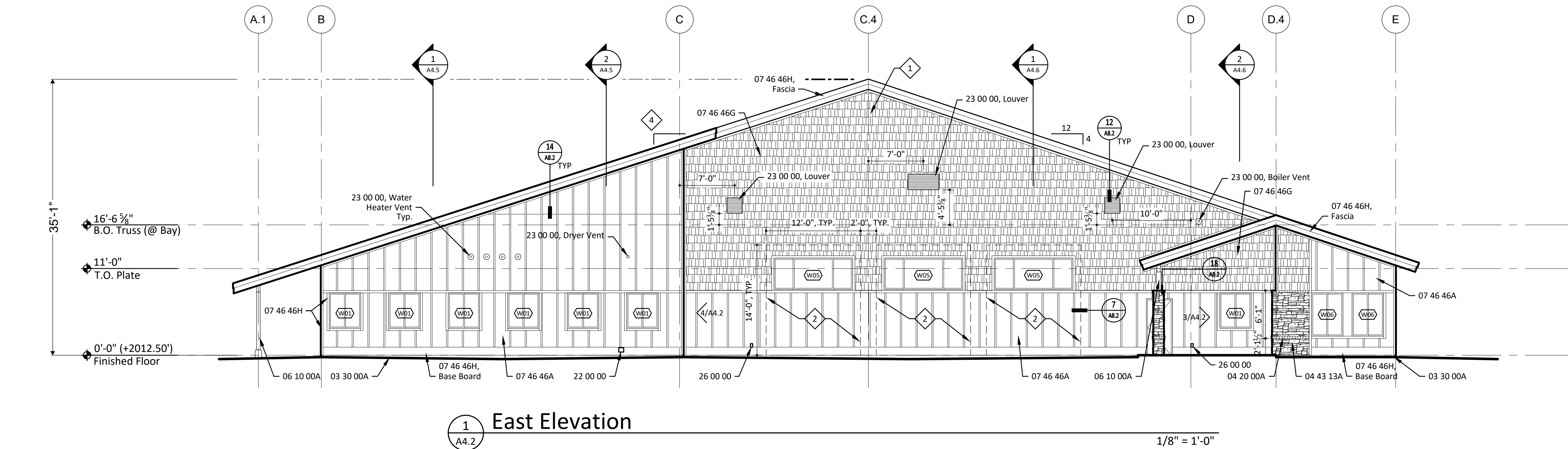
DRAWN: RHM

JOB: 201838

Exterior  
Elevations

SHEET:

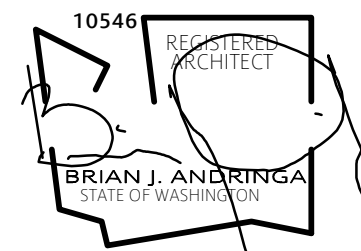
A4.1



## MATERIAL KEYNOTES

03 30 00	Cast-In-Place Concrete
A	Clay Concrete
04 20 00	Unit Masonry
A	Clay Faced Brick
04 43 13	Anchored Stone Masonry Veneer
A	Anchored Stone Masonry Veneer
06 18 00	Glued-Laminated Construction
A	Structural Glued-Laminated Timber
07 41 14	Standing-Seam Metal Roofing
F	Standing-Seam Metal Roof Panels
	Flashing & Trim
07 46 46	Fiber Cement Siding
A	Fiber Cement Siding
G	Shake Panels
H	Trim
08 11 13	Hollow Metal Doors and Frames
A	Hollow Metal Doors
08 36 13	Sectional Doors
A	Sectional Doors
22 00 00	Refer to Plumbing
23 00 00	Refer to HVAC
26 00 00	Refer to Electrical

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## SHEET KEYNOTES

- 1 Radio antenna this area, contractor to provide blocking & conduit to IT closet. Contractor to coordinate with Owner for exact location & blocking requirements.
- 2 Frame out wall for future overhead door opening.
- 3 Coordinate masonry layout with electrical equipment.
- 4 Slope on south side of building is to be calculated based on height of ridge and top plate elevations. Slope will be slightly less than 4:12 pitch.

## SHEET NOTES

1. All exposed concrete to have a light, sandblasted texture

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Ambulance  
Garage

KCPH District 2

Cle Elum, WA 98922

DATE: 06/30/20

SCALE: As Noted

DRAWN: RHM

JOB: 201838

## Exterior Elevations

**SHEET:**

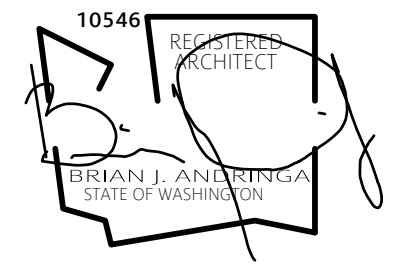
## A4.2





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DATE: 06/30/20  
SCALE: None  
DRAWN: KA  
JOB: 201838

Exterior  
Elevations

SHEET:  
G0.5



# KITTITAS VALLEY FAMILY MEDICINE CLE ELUM

A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 27, T. 20 N., R. 15 E., W.M.  
KITTITAS COUNTY, STATE OF WASHINGTON



## DATUM:

1. BEARINGS ARE REFERENCED TO THE WASHINGTON STATE PLANE COORDINATE SYSTEM (SOUTH ZONE), N.A.D. 83 (11). ALL DISTANCES SHOWN HEREON ARE GROUND SCALE BASED ON A COMBINED SCALE FACTOR (CSF) OF 0.9998781, MULTIPLY CSF BY GROUND DISTANCE TO OBTAIN GRID DISTANCES.

2. THE VERTICAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88) BASED ON AN OFFSITE NGS SURVEY MARK, DESIGNATED "HOSPITAL RESET" (PID: SX1037). ELEVATION = 2007.46'

CONTOUR INTERVAL: MINOR = 1.00 FT., MAJOR = 5.00 FT.

## NOTES:

1. THE PURPOSE OF THIS SURVEY IS TO IDENTIFY THE BOUNDARY LINES, BUILDING AND THE TOPOGRAPHY OF THE SUBJECT PROPERTY.

2. THIS SURVEY WAS PERFORMED USING TRIMBLE R8 MODEL 2 GNSS RECEIVERS AND A TRIMBLE S7, 3" TOTAL STATION WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS STANDARDS PER WAC 332-130-090.

3. THIS SURVEY WAS PERFORMED USING INFORMATION CONTAINED IN TITLE REPORT POLICY NO. 72156-463036008 OF CHICAGO TITLE INSURANCE COMPANY, ISSUED JUNE 7, 2018 AND IS SUBJECT TO THE LIMITATIONS OF THAT CERTIFICATE.

4. FOR CORNER DOCUMENTATION AND ADDITIONAL SURVEY INFORMATION, SEE THE FOLLOWING PLATS & SURVEYS OF RECORD AND THE SURVEYS REFERENCED THEREON:  
• BOOK 3 OF PLATS PAGE 3  
• BOOK 16 OF SURVEYS, PAGE 173, AFN: 532909

5. THE FIELD WORK FOR THIS SURVEY WAS COMPLETED ON JUNE 28, 2018, AND JUNE 24, 2020.

## LEGAL DESCRIPTION:

ALL OF BLOCK 5, AMENDED PLAT OF ROSLYN ADDITION TO THE CITY OF CLE ELUM, KITTITAS COUNTY, WASHINGTON STATE, PER PLAT RECORDED IN BOOK 3, PAGE 3, OF KITTITAS COUNTY BOOK OF PLATS;

LOTS 1 THROUGH 13 INCLUSIVE OF BLOCK 9, ROSLYN 2ND ADDITION TO CLE ELUM, KITTITAS COUNTY, WASHINGTON STATE, PER PLAT RECORDED IN BOOK 3, PAGE 3, OF KITTITAS COUNTY BOOK OF PLATS;

A PORTION OF VACATED ALLEY, AS VACATED BY THE CITY OF CLE ELUM ORDINANCE NO. 1370, RECORDED AUGUST 17, 2012, UNDER AUDITOR'S FILE NO. 201208170014;

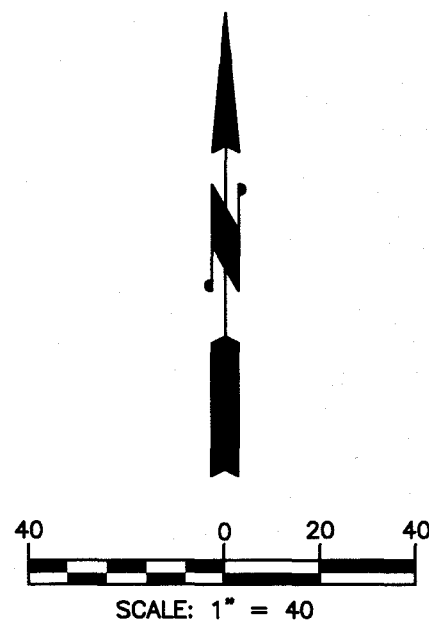
THE EASTERLY ONE-HALF OF THAT PART OF WEST YAKIMA AVENUE BOUNDED ON THE WEST BY BLOCK 9 OF ROSLYN 2ND ADDITION TO CLE ELUM, ON THE EAST BY BLOCK 5 OF ROSLYN ADDITION TO THE CITY OF CLE ELUM, ON THE NORTH BY POWER STREET, AND ON THE SOUTH BY DAVIS STREET, AS VACATED BY THE CITY OF CLE ELUM ORDINANCE NO. 600, ADOPTED NOVEMBER 8, 1965.

## PARCEL INFORMATION:

PARCEL NOS.: 474135, 484135, 074035, 504135, & 064035

## ADDRESS:

505 POWER STREET  
CLE ELUM, WA 98922



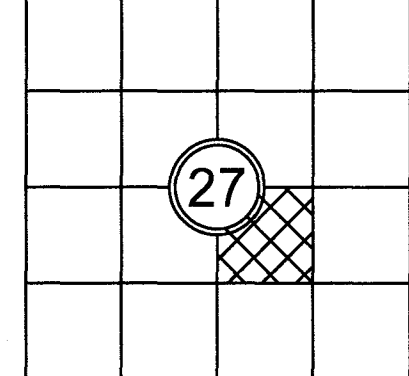
## MONUMENT LEGEND

- FOUND AXLE
- FOUND IRON ROD & CAP
- IR FOUND IRON ROD, NO CAP
- IP FOUND IRON PIPE

A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, ENCOMPASS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

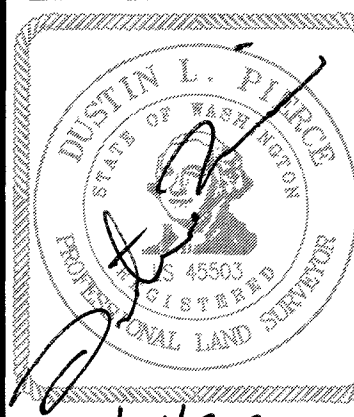


INDEX LOCATION  
SEC. 27 T. 20N R. 15E W.M.



## REVISIONS

DESCRIPTION	BY	DATE



KITTITAS COUNTY HOSPITAL DISTRICT #2  
BOUNDARY AND TOPOGRAPHIC SURVEY

**Encompass**  
ENGINEERING & SURVEYING

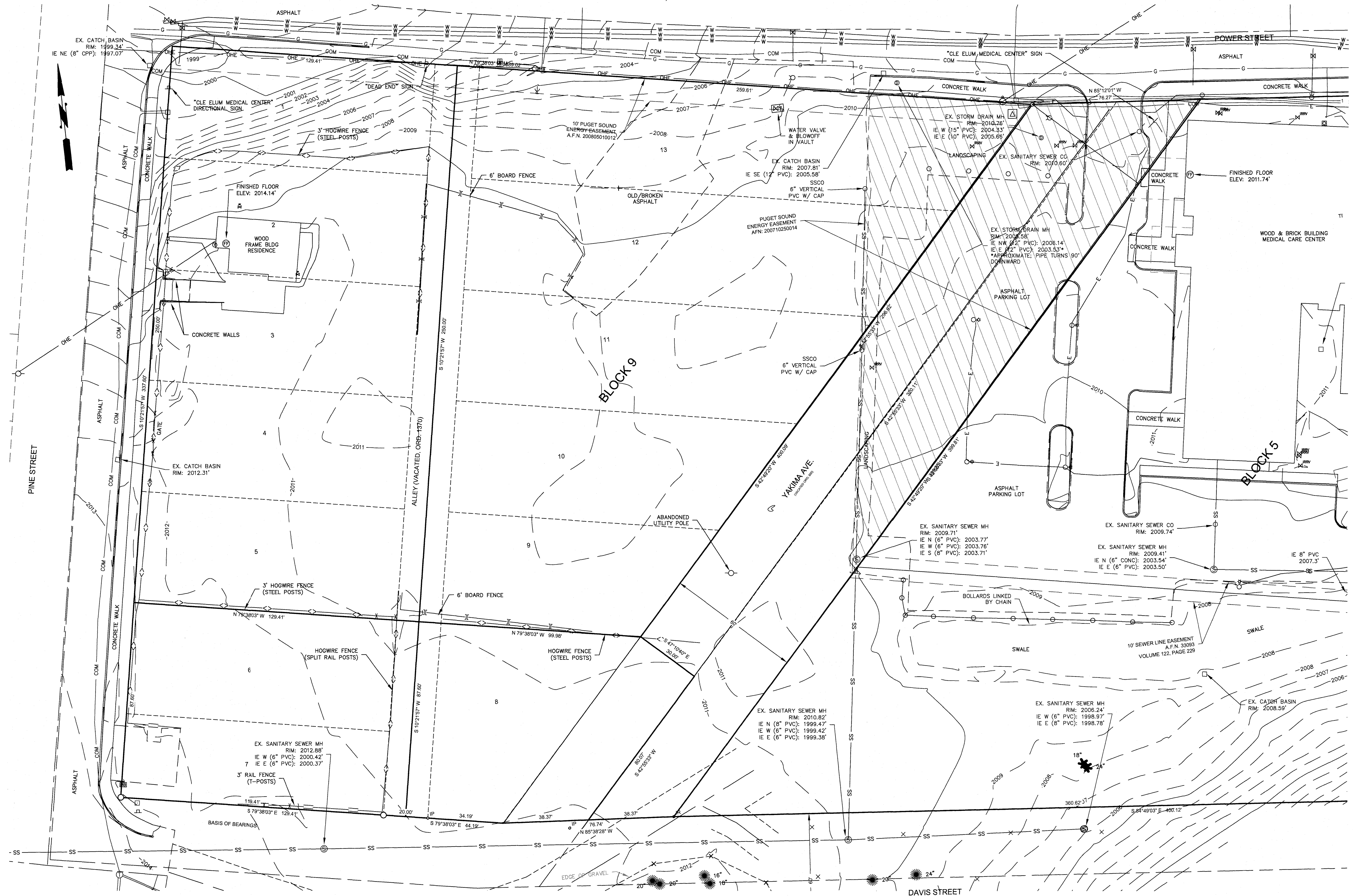
Western Washington Division  
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0230 • Fax: (425) 391-3055  
Eastern Washington Division  
407 Sullivan Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

JOB NO.	18092
DATE	07/14/2020
SCALE	1" = 40'
DESIGNED	
DRAWN	EFG/DLP
CHECKED	DLP
APPROVED	DLP
SHEET	1 OF 4

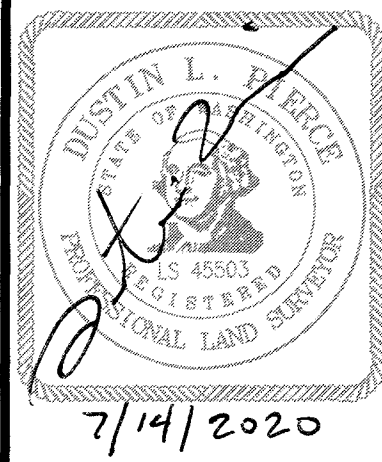


KITTITAS VALLEY FAMILY MEDICINE CLE ELUM  
A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 27, T. 20 N., R. 15 E., W.M.  
KITTITAS COUNTY, STATE OF WASHINGTON

20 0 10 20  
SCALE: 1" = 20'



REVISIONS	
NO.	DATE

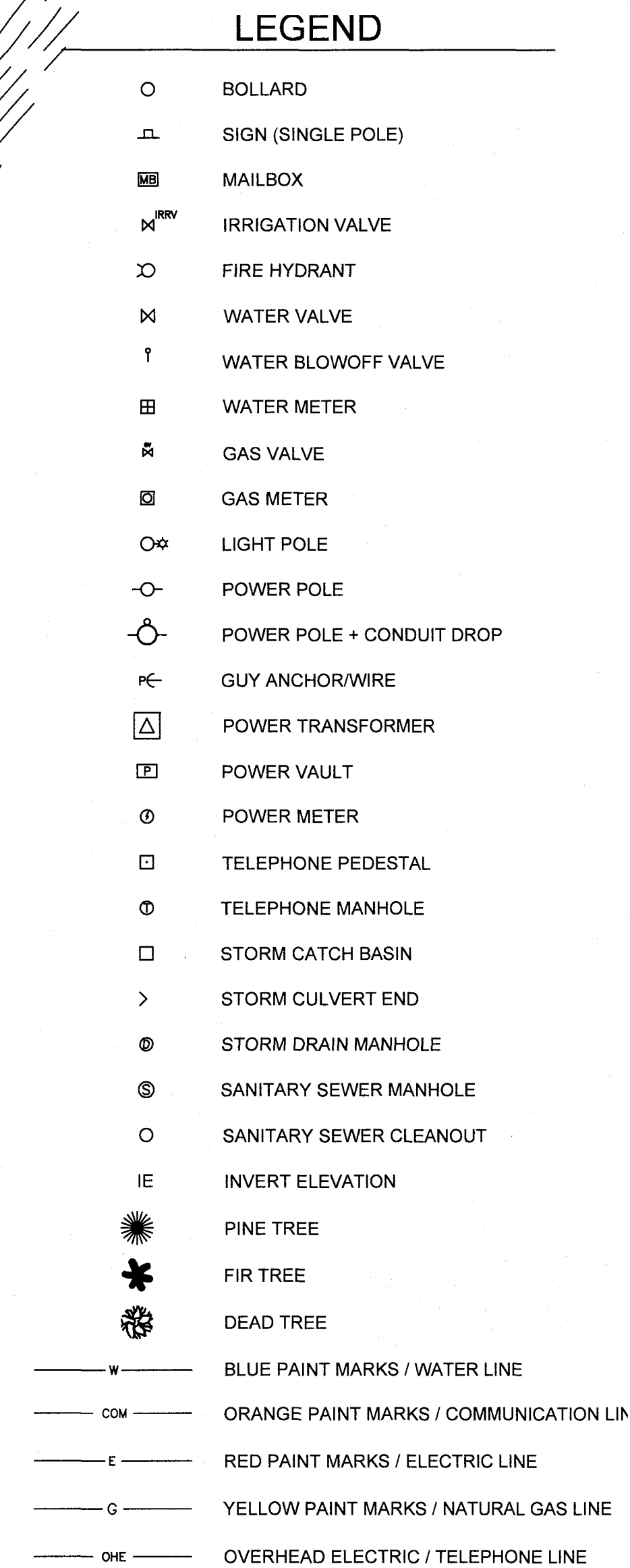
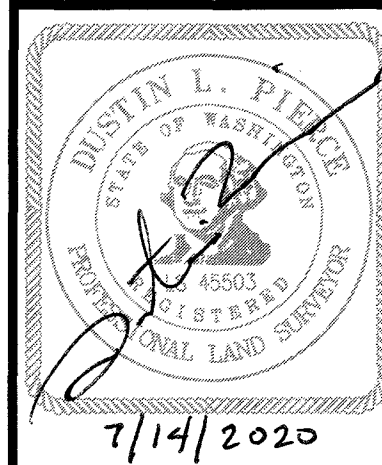
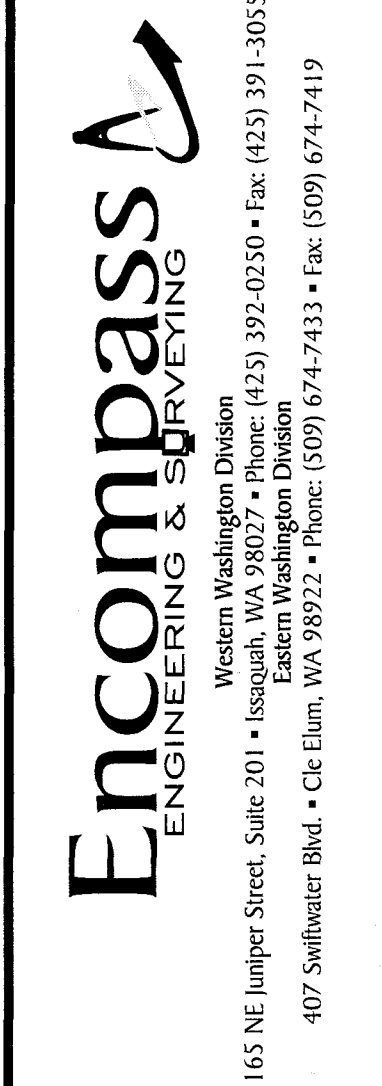


KITTITAS COUNTY HOSPITAL DISTRICT #2  
BOUNDARY AND TOPOGRAPHIC SURVEY

**Encompass**  
ENGINEERING & SURVEYING  
Western Washington Division  
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0230 • Fax: (425) 391-3055  
Eastern Washington Division  
407 Swiftwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

JOB NO.	18092
DATE	07/14/2020
SCALE	1" = 20'
DESIGNED	
DRAWN	EFG/DLP
CHECKED	DLP
APPROVED	DLP
SHEET	2 OF 4

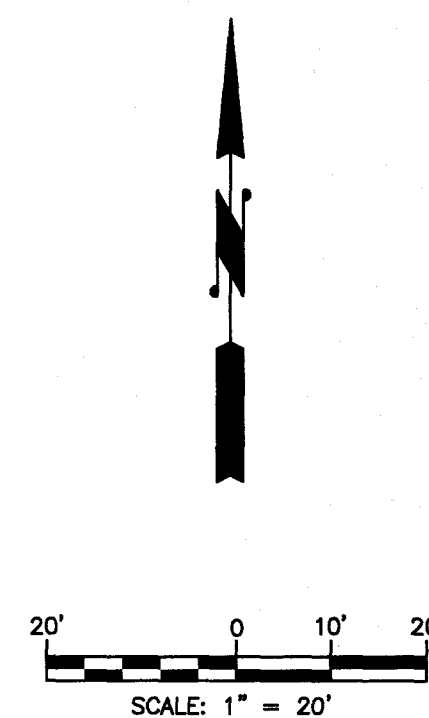
A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 27, T. 20 N., R. 15 E., W.M.  
KITTITAS COUNTY, STATE OF WASHINGTON

[illegible]KITTITAS COUNTY HOSPITAL DISTRICT #2  
BOUNDARY AND TOPOGRAPHIC SURVEY

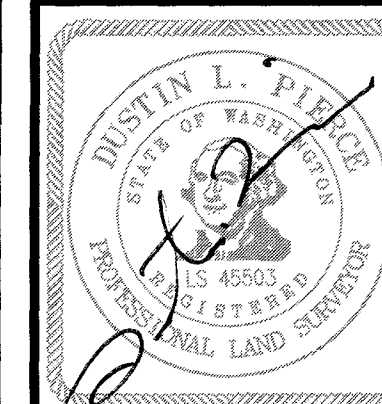
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DATE	07/14/2020
SCALE	1" = 20'
DESIGNED	
DRAWN	EFG/DLP
CHECKED	DLP
APPROVED	DLP



A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 27, T. 20 N., R. 15 E., W.M.  
KITTITAS COUNTY, STATE OF WASHINGTON



INDEX LOCATION  
SEC. 27 T. 20N R. 15E W.M.

[illegible]KITTITAS COUNTY HOSPITAL DISTRICT #2  
BOUNDARY AND TOPOGRAPHIC SURVEY

**ENGINEERING & SURVEYING**

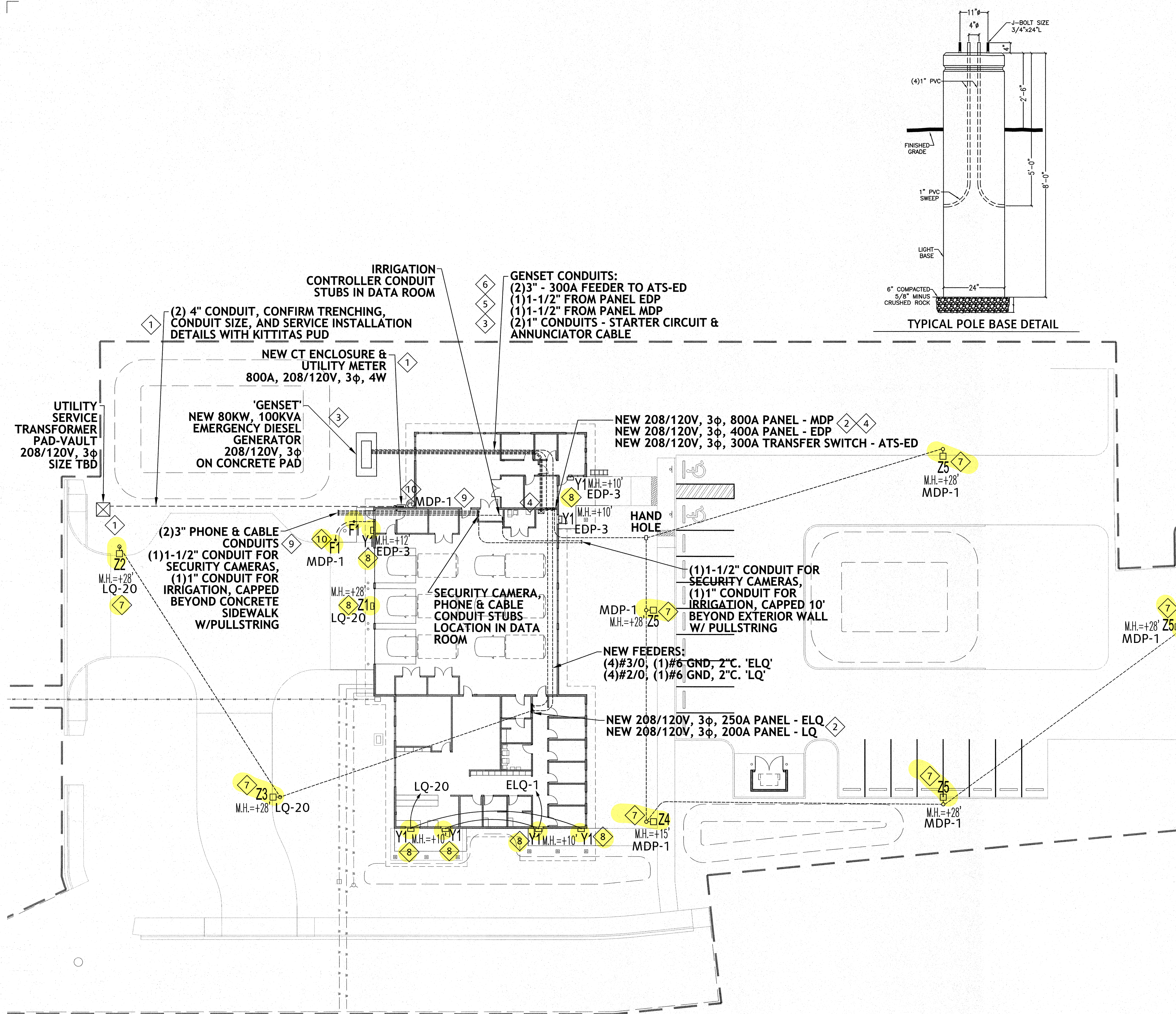
Western Washington Division  
65 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250 • Fax: (425) 391-3055

Eastern Washington Division  
407 Swiftwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

JOB NO.	18092
DATE	07/14/2020
SCALE	1" = 20'
DESIGNED	
DRAWN	EFG/DLP
CHECKED	DLP
APPROVED	DLP

SHEET 4 OF 4





REVISION	DATE

1. ALL ELECTRICAL WORK TO COMPLY WITH NEC, WAC, ENERGY CODE AND AUTHORITY HAVING JURISDICTION, AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.

2. VERIFY EXACT DEVICE LOCATIONS WITH ARCHITECTURAL ELEVATIONS & OWNER, PRIOR TO ROUGH-IN.

3. LABEL ALL INSTALLED OUTLETS AND LIGHT SWITCHES WITH PANEL-CIRCUIT DESIGNATION, UPON COMPLETION OF WORK.

- SHEET KEYNOTES**
- COORDINATE NEW SERVICE REQUIREMENTS WITH PUGET SOUND ENERGY (PSE). TRENCHING, CONDUIT, BACKFILL, AND OTHER REQUIREMENTS SHALL BE INSTALLED IN ACCORDANCE WITH PSE DESIGNS AND STANDARDS. COORDINATE UTILITY SERVICE TRANSFORMER REQUIREMENTS WITH PSE. INSTALL (2) 4" CONDUITS FROM UTILITY SERVICE TRANSFORMER LOCATION TO METER/CT ENCLOSURE LOCATION ON EXTERIOR NORTH WALL OF NEW BUILDING. PROVIDE AND INSTALL METER & CT ENCLOSURE PER PSE STANDARDS. NEW SERVICE SHALL BE 800 AMP, 208/120V, 3-PHASE, 4-WIRE.
  - PROVIDE AND INSTALL NEW POWER PANELS:  
'MDP' - 800A MAIN BREAKER, 800A BUS, 208/120V, 3 $\phi$ , 4W  
'EDP' - 400A MLO, 208/120V, 3 $\phi$ , 4W, (54-CIRCUIT)  
'LQ' - 175A MAIN BREAKER, 200A BUS, 208/120V, 3 $\phi$ , 4W  
'ELQ' - 200A MAIN BREAKER, 250A BUS, 208/120V, 3 $\phi$ , 4W  
SEE ONE-LINE DIAGRAM AND PANEL SCHEDULE SHEETS FOR FURTHER INFORMATION. PROVIDE SIEMENS, SQUARE D, OR EQUIVALENT. PANEL 'MDP' AND 'EDP' SHALL BE SERVICE ENTRANCE RATED. ALL PANELS SHALL BE FLUSH MOUNT. PROVIDE FEEDERS TO NEW PANELS, SEE ONE LINE DIAGRAM.
  - PROVIDE AND INSTALL NEW EMERGENCY DIESEL GENERATOR ON CONCRETE PAD IN AREA INDICATED ON WEST SIDE OF NEW BUILDING. COORDINATE SPECIFIC LOCATION WITH OWNER AND ARCHITECT. GENERATOR TO BE 80KW, 100KVA, 208/120VAC, 3-PHASE, 4-WIRE, WITH 300 AMP MAIN BREAKER TO FEED NEW PANEL 'EDP'. PROVIDE WITH WEATHERPROOF LEVEL 2 ACOUSTICAL ENCLOSURE. PROVIDE AND INSTALL TRENCHING, CONDUIT, WIRE, CONTROL WIRING, AND ANY OTHER ITEMS REQUIRED FOR A COMPLETE INSTALLATION OF THE EMERGENCY GENERATOR. INSTALL BREAKER(S), DISCONNECT(S) AND FEEDER AS INDICATED ON ONE-LINE DIAGRAM. INSTALL GENERATOR AND CONNECT ALL WIRING PER MANUFACTURERS INSTRUCTIONS.
  - PROVIDE AND INSTALL ASCO SERIES 300 AUTO TRANSFER SWITCH 'ATS-ED' 300A, FRAME J, 3-POLE, SOLID NEUTRAL, 208/120V (#3ATS). INSTALL 'ATS-ED' PER MANUFACTURERS INSTRUCTIONS. INSTALL NEW FEEDERS FROM GENERATOR & NEW PANEL MDP. INSTALL NEW FEEDER TO NEW PANEL 'EDP'. SIZE FEEDERS AS INDICATED ON ONE-LINE DIAGRAM. SEE NEW POWER PLAN SHEET E1.0 & ONE-LINE DIAGRAM SHEET E4.0 FOR NEW POWER PANELS NOTES AND FEEDER SIZE NOTES.
  - PROVIDE AND INSTALL GENERATOR AUXILIARY CIRCUITS:  
EDP-36,38 - CABINET HEATER  
EDP-40,42 - ENGINE BLOCK HEATER  
MDP-22 - BATTERY CHARGER  
MDP-24 - CONTROLS & CABINET LIGHTS  
SIZE CONDUCTORS FOR LOAD AND VOLTAGE DROP.
  - PROVIDE AND INSTALL GENERATOR CONTROL CONDUITS AS FOLLOWS, OR AS RECOMMENDED BY MANUFACTURER:  
(1) 1" C. FOR RS485 (2) #10 BATTERY POWER (REMOTE ANNUNCIATOR)  
(1) 1" C. FOR TWISTED PAIR START CIRCUIT  
(1) 1-1/2" C. FOR AUXILIARY CIRCUITS IN CODED NOTE 5.
  - INSTALL SITE LIGHTING AS INDICATED. MOUNT POLE LIGHTS ON POLE BASES PER POLE BASE DETAIL, THIS SHEET. MOUNTING HEIGHT (MH) IS NOTED FOR EACH FIXTURE. PROVIDE CONDUIT FROM PANELBOARDS TO POLE FIXTURES AS INDICATED. INSTALL HAND HOLE PULL BOXES AS NEEDED. COORDINATE CONDUIT ROUTING WITH ARCHITECT, OWNER, AND OTHER TRADES. CIRCUIT LIGHTS AS INDICATED. ALL EXTERIOR POLE LIGHTS TO BE PROVIDED WITH BUILT-IN DAYLIGHT DIMMING AND OCCUPANCY CONTROLS. PROGRAM LIGHT FIXTURE SETTINGS WITH OWNER, USING FSIR-100 CONFIGURATION TOOL. PROVIDE PROGRAMMING MANUAL AND TRAINING TO OWNER AS NEEDED. EXTERIOR LIGHT FIXTURES AND LIGHT POLE PART NUMBERS REFLECTED IN LIGHTING FIXTURE SCHEDULE ON SHEET E0.0.
  - INSTALL NEW EXTERIOR WALL MOUNT LIGHT FIXTURES AT HEIGHTS NOTED, AND ON CIRCUITS INDICATED. FIXTURES 'Y1' & 'Z1' SHALL BE PROVIDED WITH AUTOMATIC BUILT-IN OCCUPANCY AND DAYLIGHT DIMMING CONTROLS. SEE LIGHTING FIXTURE SCHEDULE ON SHEET E0.0 FOR LIGHT FIXTURE PART NUMBERS.
  - INSTALL (2) 3" CONDUITS - PVC SCHEDULE 40, FOR PHONE AND CABLE TV UTILITY SERVICES. STUB CONDUITS FROM IT CLOSEST TO 5' BEYOND CONCRETE WALK, IN GRASS AREA AS SHOWN, CAP AND MARK AT BOTH ENDS AND PROVIDE PULL STRING IN EACH.
  - INSTALL FLAG POLE LIGHTS AT BASE OF FLAG POLE AS SHOWN AT 180", AND PER MANUFACTURERS INSTRUCTIONS. AIM LIGHTS AT TOP OF FLAG POLE. PROVIDE AND INSTALL INTERMATIC STEM & SWIVEL ELECTRONIC PHOTO EYE UNDER NORTH EAVE OF ROOF AS SHOWN, TO CONTROL FLAG LIGHTS. INSTALL 1" CONDUIT FROM IN-GROUND LIGHT FIXTURES INTO ACCESSIBLE SPACE NEAR THE PHOTO EYE LOCATION, CIRCUIT BACK TO PANEL MDP. INSTALL PHOTO EYE PER MANUFACTURER INSTRUCTIONS. PROVIDE AND INSTALL CONDUIT AND WIRING, AND ASSOCIATED COMPONENTS AS REQUIRED TO PROVIDE POWER AND CONTROL OF FLAG POLE LIGHTS.

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100% CD

**Picatti**  
Engineering & Service Inc.  
1415 River Road, Tacoma, WA 98402  
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**DAVID A. PICATTI**  
REGISTERED PROFESSIONAL ENGINEER  
6/30/20

**KDA ARCHITECTURE**  
1310 North 16th Avenue, Yakima, WA 98902  
www.kdaarchitecture.com

**KDA**

**Ambulance Garage**

KCPH District 2

Cle Elum, WA 98922

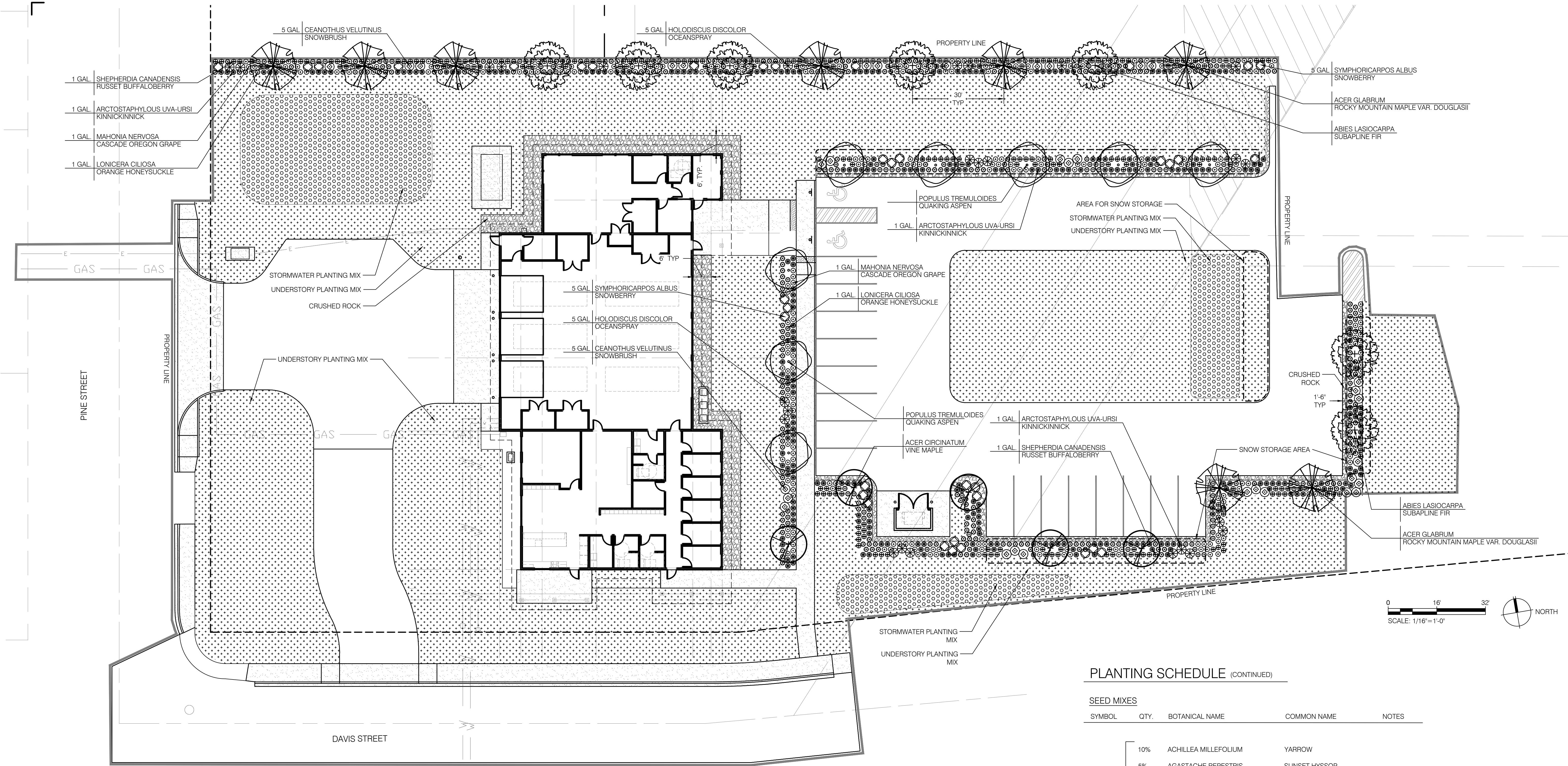
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DRAWN: DJP/RWS  
JOB: 201838

**New Main Power Plan**

E SHEET 2 OF 10

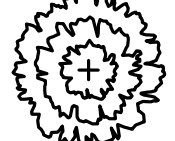
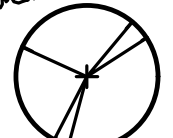


SHEET:  
**E0.1**












PLANTING SCHEDULE

TREES


SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	7	ABIES LASIOCARPA	SUB-ALPINE FIR	2" CAL	
	5	ACER CIRCINATUM	VINE MAPLE	2" CAL	
	8	ACER GLABRUM var. DOUGLASII	ROCKY MT. MAPLE	2" CAL	
	8	POPULUS TREMULOIDES	QUAKING ASPEN	2" CAL	

BUFFER PLANTING

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	294	ACRTOSTAPHYLOUS UVA-URSI	KINNICKINNICK	1 GAL	FULL, WELL-ROOTED
	34	CEANOTHUS VELUTINUS	SNOWBRUSH	5 GAL	FULL, WELL-ROOTED
	26	HOLODISCUS DISCOLOR	OCEANSPRAY	5 GAL	FULL, WELL-ROOTED
	323	LONICERA CILIOSA	ORANGE HONEYSUCKLE	1 GAL	FULL, WELL-ROOTED
	259	MAHONIA NERVOSA	CASCADE OREGON GRAPE	1 GAL	FULL, WELL-ROOTED
	214	SHEPHERDIA CANADENSIS	RUSSET BUFFALOBERY	1 GAL	FULL, WELL-ROOTED
	323	SYMPHORICARPOS ALBUS	SNOWBERRY	5 GAL	FULL, WELL-ROOTED

PLANTING SCHEDULE (CONTINUED)

SEED MIXES

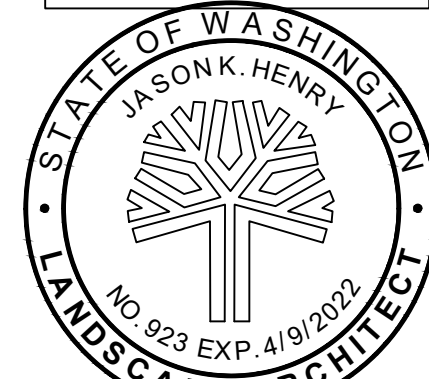
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	NOTES
	10%	ACHILLEA MILLEFOLIUM	YARROW	
	5%	AGASTACHE REPESTRIS	SUNSET HYSSOP	
	10%	AGROPYRON SPICATUM	BLUEBUNCH WHEATGRASS	
	5%	AQUILEGIA FORMOSA	RED COLUMBINE	
	10%	BASLAMORHIZA SAGITTATA	ARROWLEAF BALSAMROOT	
	20%	CALAMAGROSTIS RUBESCENS	PINEGRASS	
	5%	ERIOPHYLLUM LANATUM	WOOLLY SUNFLOWER	
	15%	FESTUCA IDAHOENSIS	IDAHO FESCUE	
	10%	LINUM LEWISII	BLUE FLAX	
	10%	LUPINUS POLYPHYLLUS	BIGLEAF LUPINE	

STORMWATER PLANTING MIX

	15%	ACHNATHERUM HYMENOIDES	INDIAN RICE GRASS	
	15%	ASCLEPIAS SPECIOSA	MILKWEED	
	20%	CAMMASSIA QUAMASH	CAMAS	
	20%	CAREX COMOSA	BOTTLEBRUSH SEDGE	
	10%	IRIS DOUGLASIANA	PACIFIC COAST IRIS	
	20%	PETASITES FRIGIDUS	NORTHERN SWEET COLTSFOOT	

REVISION	DATE

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KDA ARCHITECTURE

1310 North 19th Avenue, Yakima, WA 98902  
T 509 675 4462 F 509 675 4463  
www.kdaarchitecture.com



Ambulance  
Garage

KCPH District 2

Cle Elum, WA 98922

DATE: 06/30/20

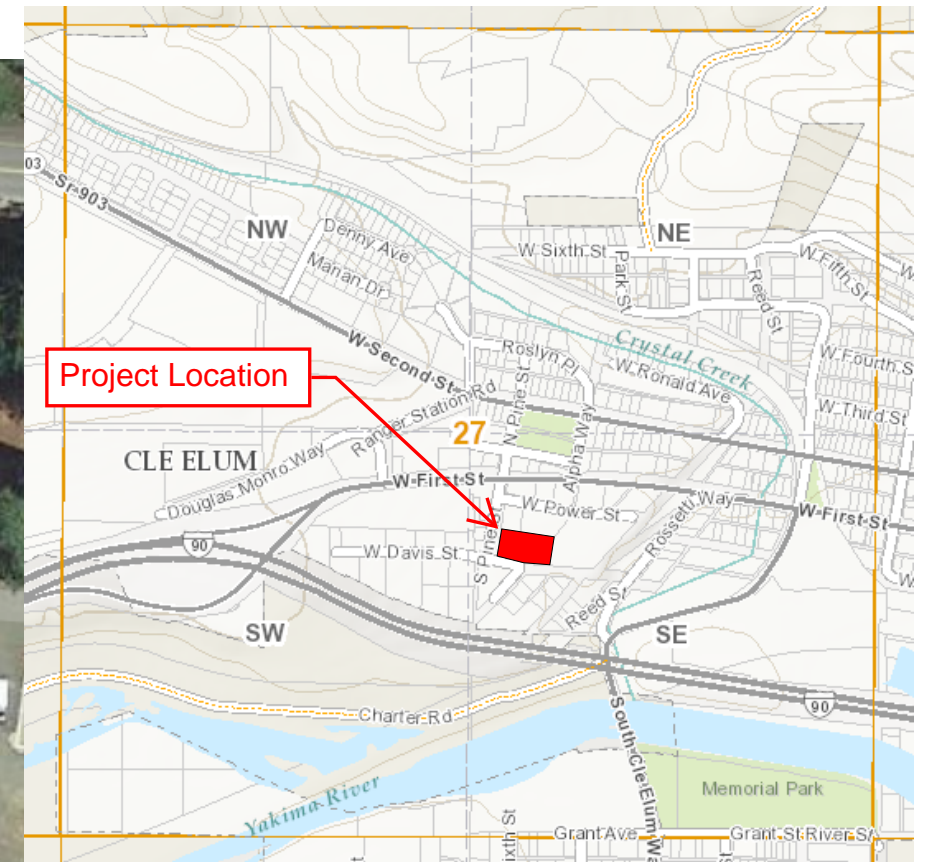
SCALE:

DRAWN:

JOB: 201838

SHEET:  
L-100  
PLANTING PLAN





- 100' from subject site
- Project Boundary
- Location of future building

# Existing Site

## KCPHD #2 Ambulance

4/23/2020





**NOTE:**

**The full set of plan drawings were not  
included in this online package due to file  
size, but are available upon request to  
[lucy@cityofcleelum.com](mailto:lucy@cityofcleelum.com)**

119 West First Street  
Cle Elum, WA 98922  
Telephone · (509) 674-2262  
Fax · (509) 674-4097  
www.cityofcleelum.com



Stamp & initial
Received 8/26/2020 by Lucy Temple via email

## TYPE II AND III VARIANCE APPLICATION

The purpose of a variance is to provide relief to property owners where application of the Cle Elum Municipal Code may cause a hardship, due to unusual circumstances of the land. Variances are allowed for numeric provisions of the code such as setbacks, buffers, height, landscaping minimums, lot coverage and lot dimensions. Variances of up to 2% do not require review outside of the permit process required for the project. Variances of 2% to 10% are considered a Type II process which requires public notice. Variances over 10% require a public hearing in front of the Planning Commission. See CEMC 17.85 for more information.

OFFICIAL USE ONLY	
Permit #:	VAR-2020-001
Staff Person:	Lucy Temple
Fee Total:	NA
Related Permits:	PREAP, CUP, SEP, BLA

Applicant	
Name:	Rhonda Holden
Mailing Address:	603 S. Chestnut St Ellensburg 98926
Email:	rholden@kvhealthcare.org
Phone Number:	509-962-7320 or 509-674-8104
Property Owner	Same as applicant <input type="checkbox"/>
Name:	Kittitas County Hospital District #2
Mailing Address:	603 S. Chestnut St Ellensburg 98926
Email:	as above
Phone Number:	as above
Property Information	
Project Name:	KCPHD #2 Ambulance Garage
Address:	111 Pine St
Assessor's Parcel No.:	484135
Zoning:	Commercial / residential
Description of project:	Six bay Ambulance Garage for Medic One Station 99. Requesting a Variance for full public improvements along Davis Street as a sidewalk, curb & gutter would not be practical given the location / landscape of the area, fitting the Variance Decision criteria

See attached list

<b>Variance Application Requirements<sup>1</sup></b>	
1.	Site plan indicating location of property boundaries, proposed improvements, existing access locations and dimensions, site improvements, adjacent public streets and driveway, the specific location of the variance and any features of the property that are present that cause the need for the variance.
2.	A map indicating the subject property and boundaries.
3.	If the applicant is not the legal owner a signed authorization from the legal owner is required. <sup>2</sup>
4.	Written narrative describing the project, and how the proposed variance complies with the decision criteria listed below.
5.	Payment of a fee that is consistent with the City of Cle Elum's fee schedule.
<b>Variance Decision Criteria</b>	
1.	There are unusual, exceptional or extraordinary circumstances or conditions applying to the property that do not apply generally to other property in the same vicinity or district. Such conditions may include topography, unique natural conditions, surroundings and size or unusual shape of the lot.
2.	The unusual circumstances or conditions and the strict application of this title cause the loss of a substantial property right possessed by the owners of other properties in the same vicinity or district.
3.	The unusual circumstances or conditions and the strict application of this title cause the loss of a substantial property right possessed by the owners of other properties in the same vicinity or district.
4.	The variance approved will be for the least amount that will make possible the legal use of the land, building or structure and will not provide a special privilege inconsistent with the limitations upon use of other properties in the vicinity or use district.
5.	The variance will not adversely affect the realization of the comprehensive plan.
6.	The need for the variance was not caused by the actions of the applicant or property owner.

1. The application will not be processed and deemed incomplete if not all required criteria is not attached to application on the day of submission. The Planner may chooses to wave some of the requirements. If any of the required criteria is provided in another permit please cite that permit.
2. The owner can sign under the authorization section of this application or send the City Planner a signed letter.

**Authorization**

*The undersigned hereby certifies that this application has been made with the consent of the lawful property owner(s) and that all information submitted with this application is complete and correct. False statements, errors, and/or omissions may be sufficient for denial of the request. This application gives consent to the City to enter the properties listed above for the purposes of inspecting and verifying information presented in this application. The applicant further agrees to pay all fees specified in the City's fee schedule for the permit and expenses associated with the review of the application. The applicant gives consent to the City to enter the property(s) listed above for the purpose of inspecting and verifying information presented in this application.*

Applicant Signature:

*Rhonda Holden*

Date:

*8/26/20*

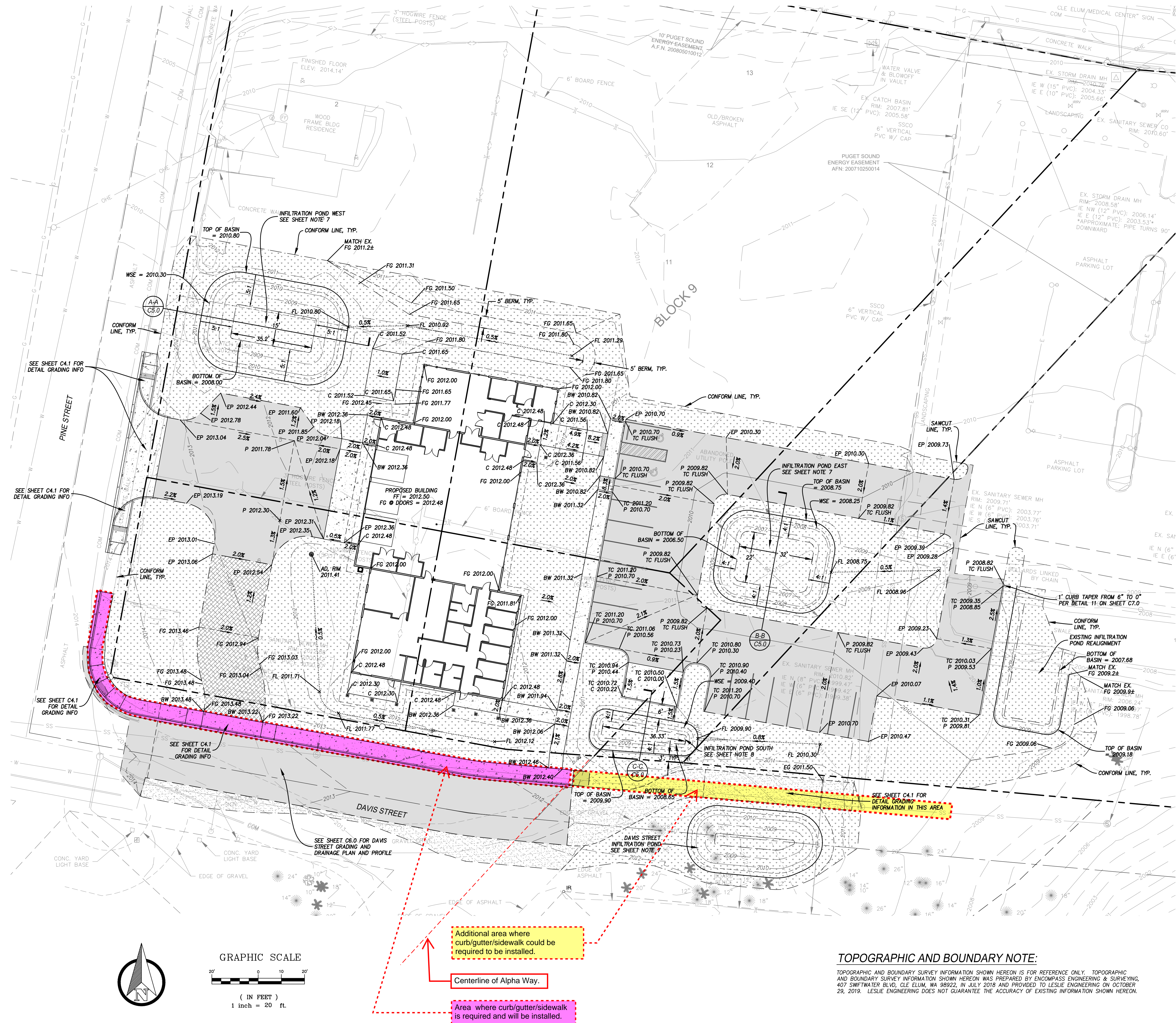
Owner Signature:

*Paula Roth*

Date:

*8/26/20*





**EARTHWORK NOTES:**

IMPORT = 0± CY  
EXPORT = 0± CY  
FILL = 1,153± C.Y.  
CUT = 1,455± C.Y.  
(IF ZERO, INDICATE 0)

1. THE EARTHWORK QUANTITIES SHOWN ARE PROVIDED FOR THE PERMITTING AND PLANNING PURPOSES ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CARRY OUT THE CUT/FILL, IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES SHOWN ON THE PLANS. CONTRACTOR IS TO DELIVER TO OWNER THE PROJECT IN A COMPLETE AND OPERATIONAL MANNER. EARTHWORK QUANTITIES SHOWN ON THE PLANS OR REPRESENTED BY THE ENGINEER ARE APPROXIMATE AND ARE FOR PERMITTING AND PLANNING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ANY INVESTIGATION OR STUDIES THAT ARE REQUIRED BY THE CONTRACTOR TO SATISFY THIS REQUIREMENT. NO ADDITIONAL COMPENSATION SHALL BE PAID FOR SAID CUT/FILL AND/OR IMPORT/EXPORT.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE ALL MATERIAL AND LABOR REQUIRED WITHIN THE BID PRICE, FOR EARTHWORK CONSTRUCTION, TO CARRY OUT THE CUT/FILL AND/OR IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES SHOWN ON THE PLANS. CONTRACTOR IS TO DELIVER TO OWNER THE PROJECT IN A COMPLETE AND OPERATIONAL MANNER. EARTHWORK QUANTITIES SHOWN ON THE PLANS OR REPRESENTED BY THE ENGINEER ARE APPROXIMATE AND ARE FOR PERMITTING AND PLANNING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ANY INVESTIGATION OR STUDIES THAT ARE REQUIRED BY THE CONTRACTOR TO SATISFY THIS REQUIREMENT. NO ADDITIONAL COMPENSATION SHALL BE PAID FOR SAID CUT/FILL AND/OR IMPORT/EXPORT.

**SHEET NOTES:**

1. REFER TO GENERAL PLAN NOTES ON SHEET C1.1.
2. REFER TO ARCHITECTURAL PLANS BY KDA ARCHITECTURE FOR NEW BUILDING INFORMATION AND DESIGN, DEMOLITION AND TREE REMOVAL INFORMATION. BUILDING ROOFS SHALL BE COATED WITH INERT, NON LEACHABLE MATERIALS.
3. CONTRACTOR SHALL COMPLY WITH MANUFACTURERS' INSTALLATION PROCEDURES AND RECOMMENDATIONS FOR CONSTRUCTION OF ALL IMPROVEMENTS.
4. GROUNDWATER IN THE VICINITY IS DEEP AND DEWATERING IS NOT EXPECTED. CONTRACTOR SHALL ADDRESS DEWATERING AS NECESSARY.
5. ELECTRICAL CONDUITS, TRANSFORMERS, VAULTS AND OTHER ELECTRICAL INFORMATION SHALL BE PREPARED BY THE ELECTRICAL CONSULTANT. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
6. LANDSCAPE AND IRRIGATION DESIGN AND PLANS SHALL BE PREPARED BY THE LANDSCAPE ARCHITECT. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. SEE SHEET C4.2 FOR ADDITIONAL STORMWATER MANAGEMENT FACILITY INFORMATION.

**TOPOGRAPHIC AND BOUNDARY NOTE:**

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON IS FOR REFERENCE ONLY. TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY ENCOMPASS ENGINEERING & SURVEYING, 407 SWIFTWATER BLVD., CLE ELUM, WA 98922, IN JULY 2018 AND PROVIDED TO LESLIE ENGINEERING ON OCTOBER 29, 2019. LESLIE ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF EXISTING INFORMATION SHOWN HEREON.

REVISION	DATE

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T 509 573 5408 F 509 433 0293  
www.kdaarchitecture.com



**Ambulance  
Garage**

KCPH District 2

505 Power Street  
Cle Elum, WA 98922

DATE: 6/30/2020  
SCALE: As Indicated  
DRAWN: DH  
JOB: 201838

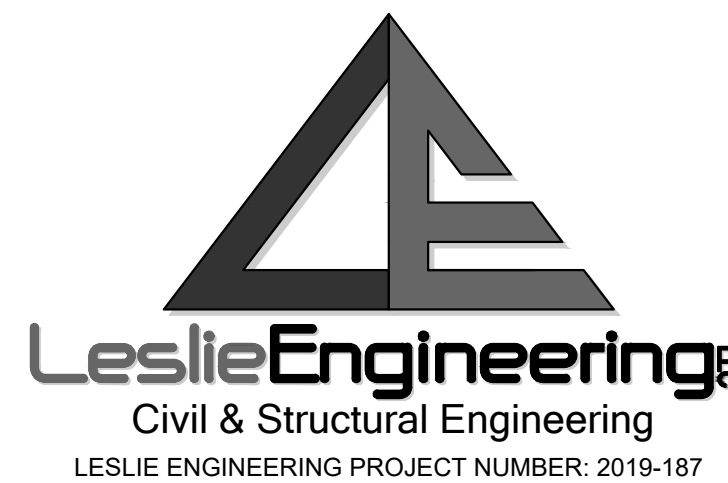
**Grading &  
Drainage Plan**

SHEET:

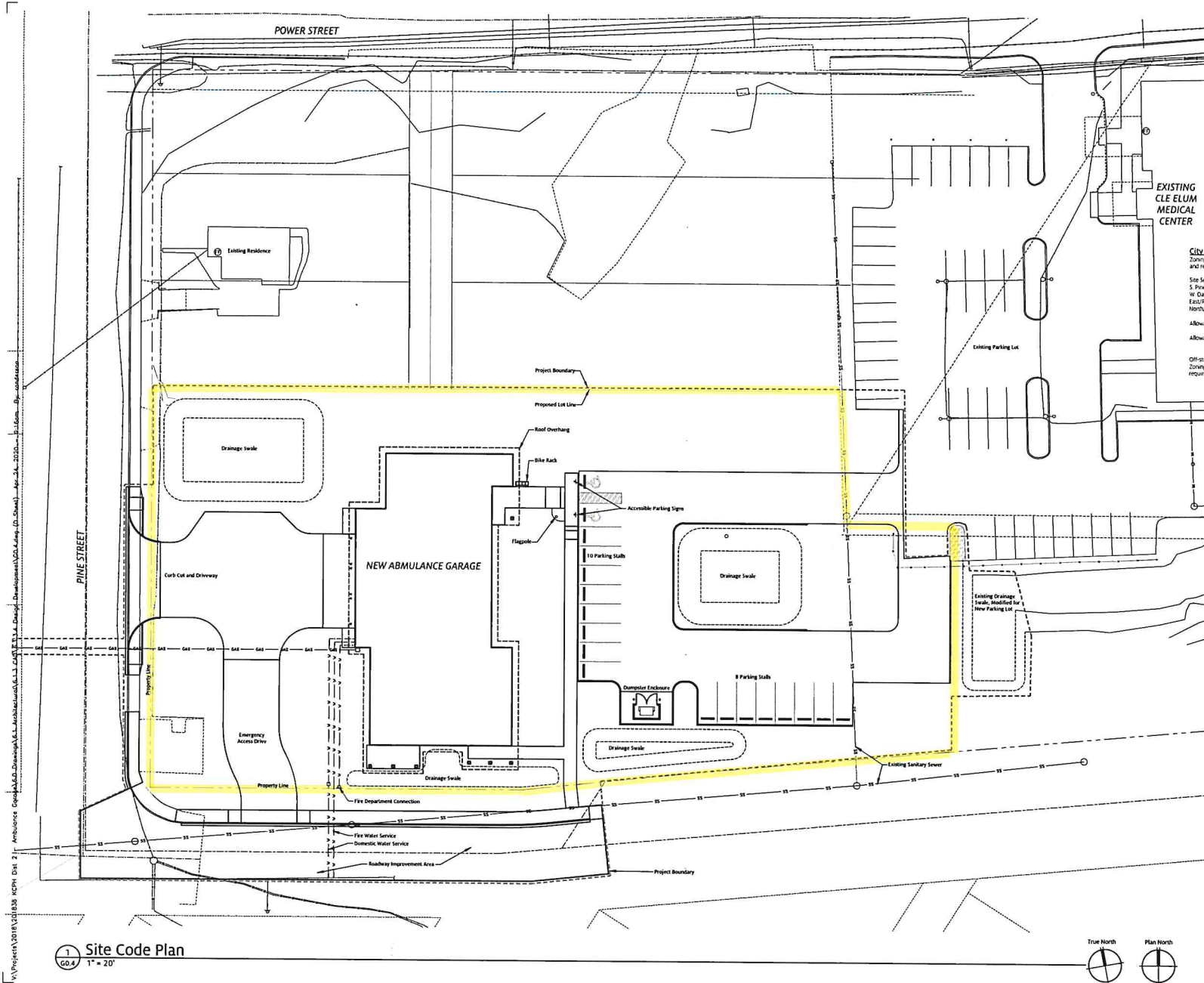
**C4.0**



Know what's below.  
Call before you dig.







# SHEET NOTES

1. See Civil drawings for paving, grading, and utility details.

EXISTING  
CLE ELUM  
MEDICAL  
CENTER

## City Of Cle Elum Zoning Code

Zoning Code is under revision. Confirmation of zoning designations and requirements to be confirmed with City of Cle Elum.

Site Setbacks:  
S. Pine Street 0'  
W. Davis Street 0'  
East Pine Yard 0'  
North Side Yard 0'

Allowable Stories Above Grade:  
Not Listed (per IBC 3 stories)  
Allowable Building Height:  
180' (Fire Stic: 150'-0")

Off-street Parking Calculations:  
Zoning Code is under revision. Confirmation of off-street parking requirements to be confirmed with City of Cle Elum.

Residential	5 Spaces
Assembly (Framing Room)	28 Spaces
Total Parking Required	33 Spaces

REVISION	DATE

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100%  
Design  
Development

KDA ARCHITECTURE



AMBULANCE  
GARAGE

KCPH District 2

505 Power Street  
Cle Elum, WA 98932

DATE: 04/24/2020

SCALE: 1" = 20'

DRAWN: RA

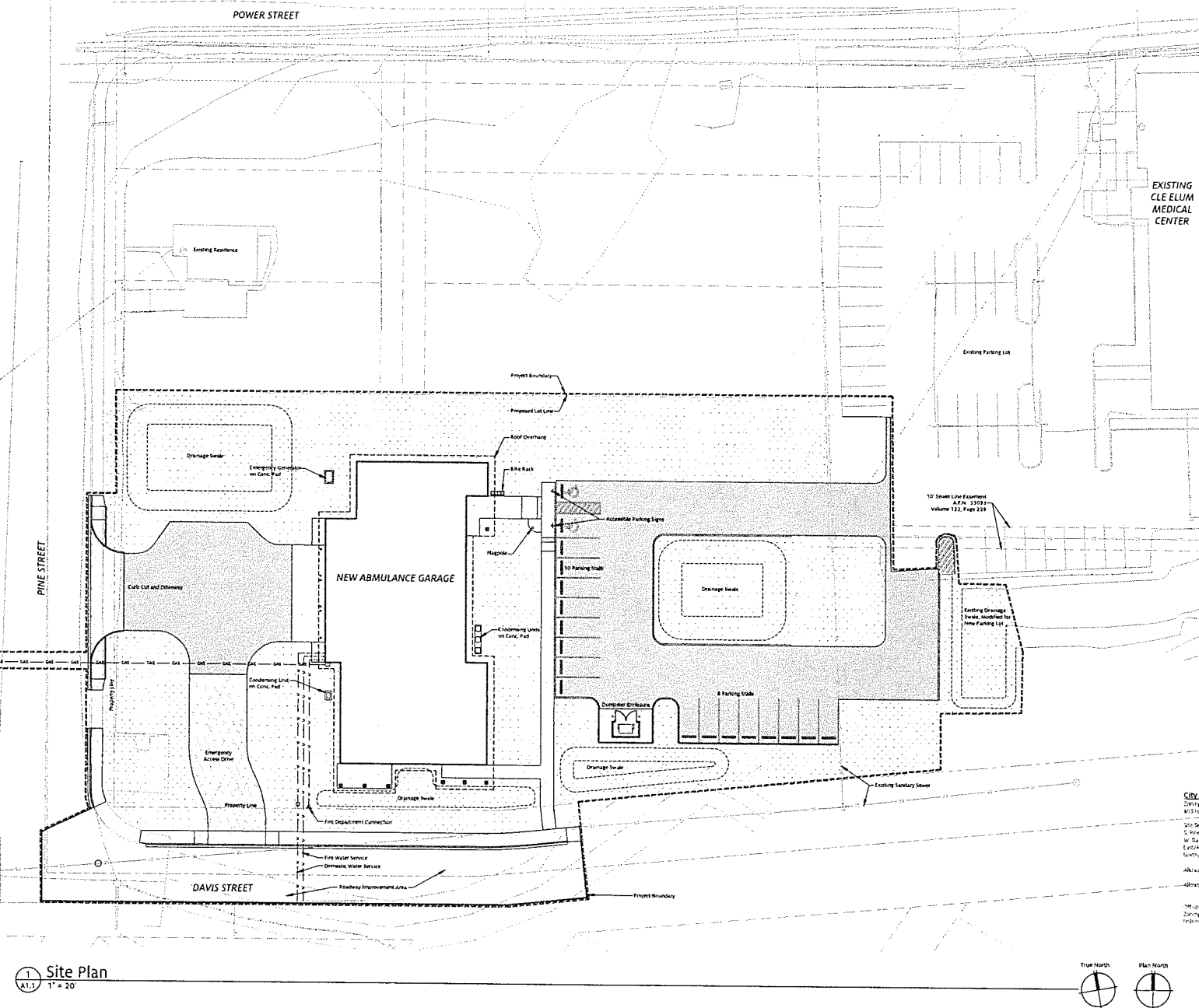
JOB: 201838

Site Code Plan

SHEET:

GO.4

V:\Projects\2018\201833 KCPH Dist 2 - Ambulance Garage\GIS Drawings\GIS Architecture\A1.1.dwg (D Sheet) May 01, 2020 - Redline By: gph/ars



# SHEET NOTES

- See Civil drawings for paving, grading, and utility details.

EXISTING  
CLE ELUM  
MEDICAL  
CENTER

## LEGEND

- Asphalt Concrete Paving
- Portland Cement Concrete Paving
- "Grasscrete" Turfing
- Landscaping

## City of Cle Elum Zoning Code

Zoning is shown under review. Confirmation of zoning requirements to be confirmed with City of Cle Elum.

Site Setback  
C. Pine Street  
W. Steam Street  
E. Pioneer Way  
North/South Way

Allywade Street  
Building Height  
180' (see 180' EOL 10/17)

Off-street parking calculations:  
Zoning code is under review. Confirmation of off-street parking requirements to be confirmed with City of Cle Elum.  
Minimum  
Minimum (Training Building)  
Total parking required

6 Spaces  
24 Spaces  
72 Spaces

REVISION	DATE

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Design  
Development

KDA ARCHITECTURE  
1313 North Pine Street, Suite 100  
Spokane, WA 99201  
Phone: (509) 325-1234



AMBULANCE  
GARAGE

KCPH District 2

1015 Power Street  
Cle Elum, WA 99222

DATE: 04/24/2020

SCALE: 1" = 20'

DRAWN: RA

JOB: 201833

Site Plan

SHEET:

A1.1



REVISION	DATE

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 Website: www.kdaarch.com



**Ambulance  
Garage**

KCPH District 2

505 Power Street  
 Cle Elum, WA 98922

DATE: 05/06/2020

SCALE:

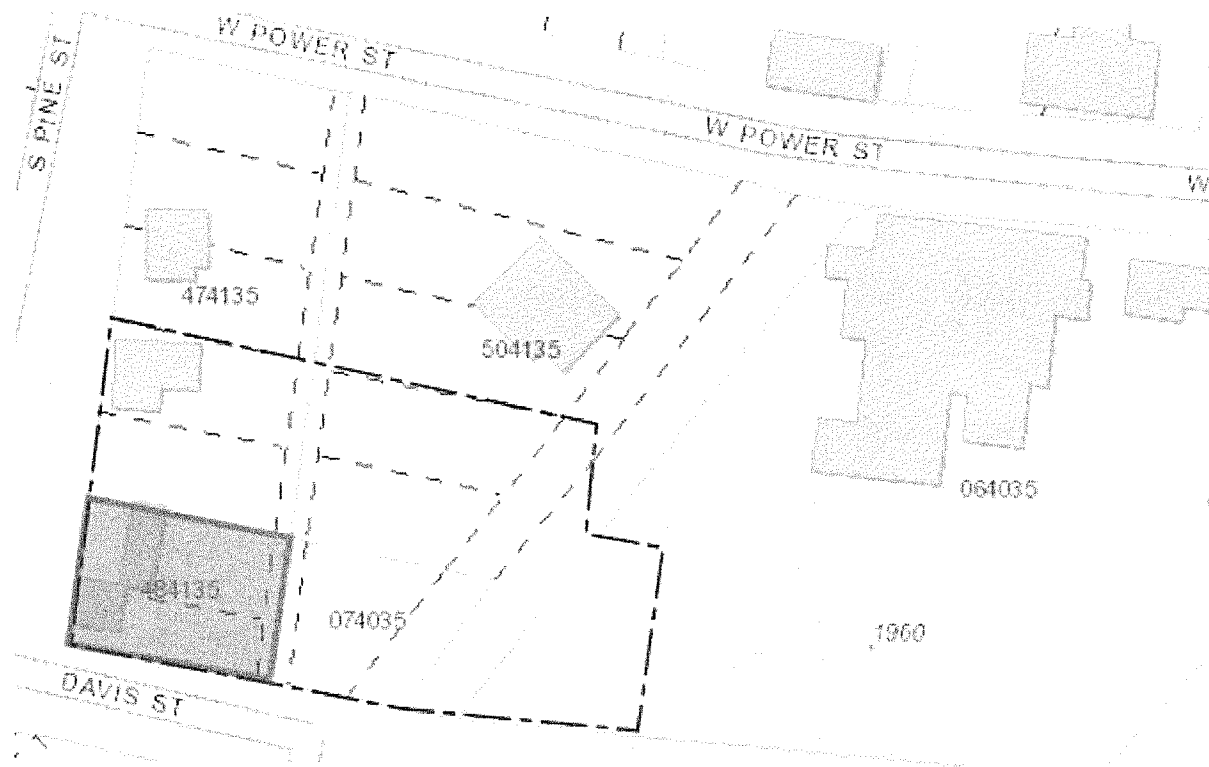
DRAWN: Author

JOB: 201838

Exterior  
Perspectives

SHEET:

**G0.5**

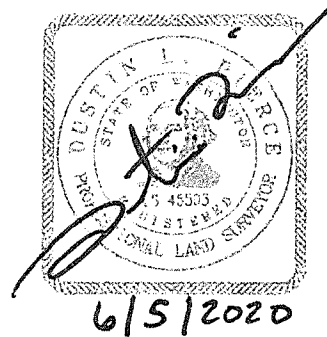




**KCPHD #2**  
**LEGAL DESCRIPTION FOR REMAINDER OF PARCEL NO. 474135**

LOT 1-3 OF BLOCK 9 AS SHOWN ON THE ROSLYN 2<sup>ND</sup> ADDITION TO THE CITY OF CLE ELUM, VOLUME 3 OF PLATS, PAGE 3, RECORDS OF KITTITAS COUNTY, BEING A PORTION OF SECTION 27, TOWNSHIP 20 NORTH, RANGE 15 EAST, WILLAMETTE MERIDIAN, KITTITAS COUNTY, STATE OF WASHINGTON;

TOGETHER WITH THAT PORTION OF VACATED ALLEY AS VACATED BY CITY OF CLE ELUM ORDINANCE NO. 1370 RECORDED, AUGUST 17, 2012 UNDER AUDITOR'S FILE NO. 201208170014;





**KCPHD #2**  
**LEGAL DESCRIPTION RESULTING FROM BOUNDARY LINE ADJUSTMENT**

A PORTION OF BLOCK 9 ROSLYN 2<sup>ND</sup> ADDITION TO CLE ELUM, AS RECORDED IN VOLUME 3 OF PLATS, PAGE 3, RECORDS OF KITTITAS COUNTY, BEING A PORTION OF SECTION 27, TOWNSHIP 20 NORTH, RANGE 15 EAST, WILLAMETTE MERIDIAN, KITTITAS COUNTY, STATE OF WASHINGTON;

TOGETHER WITH THAT PORTION OF VACATED WEST YAKIMA AVENUE VACATED BY CITY OF CLE ELUM ORDINANCE NO. 600 OF THE CITY OF CLE ELUM, ADOPTED NOVEMBER 8, 1965;

AND

TOGETHER WITH THAT PORTION OF VACATED ALLEY AS VACATED BY CITY OF CLE ELUM ORDINANCE NO. 1370, RECORDED AUGUST 17, 2012 UNDER AUDITOR'S FILE NO. 201208170014 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 7 OF SAID BLOCK 9, SAID CORNER BEING THE TRUE POINT OF BEGINNING;

THENCE ALONG THE WEST BOUNDARY LINE THEREOF NORTH 10°21'57" EAST TO THE NORTHWEST CORNER OF LOT 4 OF SAID BLOCK 9;

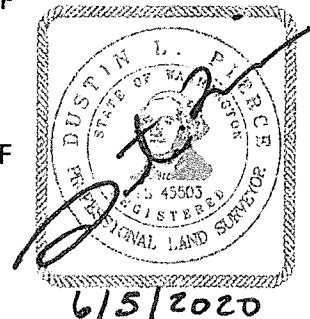
THENCE EASTERLY ALONG THE NORTH BOUNDARY LINE OF SAID LOT 4, 129.41 FEET MORE OR LESS, TO THE NORTHWEST CORNER OF LOT 10 OF SAID BLOCK 9;

THENCE EASTERLY ALONG THE NORTH BOUNDARY LINE OF SAID LOT 10 TO THE WEST BOUNDARY LINE OF BLOCK 5 OF AMENDED PLAT OF THE ROSLYN ADDITION TO CLE ELUM;

THENCE SOUTH 42°55'33" WEST ALONG SAID WEST BOUNDARY LINE OF SAID BLOCK 5 TO THE SOUTHWEST CORNER OF SAID BLOCK 5;

THENCE NORTH 85°38'28" WEST, 76.74 FEET;

THENCE NORTH 79°38'03" WEST, 173.60 FEET TO THE TRUE POINT OF BEGINNING.







**KCPHD #2**

**LEGAL DESCRIPTION FOR REMAINDER OF KITTITAS COUNTY PARCEL NO. 504135**

LOTS 11-13 OF BLOCK 9 OF THE ROSLYN 2<sup>ND</sup> ADDITION TO CLE ELUM, AS RECORDED IN VOLUME 3 OF PLATS, PAGE 3, RECORDS OF KITTITAS COUNTY, BEING A PORTION OF SECTION 27, TOWNSHIP 20 NORTH, RANGE 15 EAST, WILLAMETTE MERIDIAN, KITTITAS COUNTY, STATE OF WASHINGTON;

TOGETHER WITH THAT PORTION OF VACATED WEST YAKIMA AVENUE VACATED BY CITY OF CLE ELUM ORDINANCE NO. 600 OF THE CITY OF CLE ELUM, ADOPTED NOVEMBER 8, 1965, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 7 OF SAID BLOCK 9;

THENCE ALONG THE WEST BOUNDARY LINE THEREOF NORTH 10°21'57" EAST, 337.60 FEET;

THENCE SOUTH 79°38'03" EAST, 129.41 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 79°38'03" EAST, 259.61 FEET;

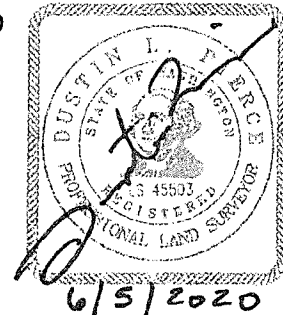
THENCE SOUTH 85°12'01" EAST, 76.27 FEET TO THE WEST BOUNDARY LINE OF BLOCK 5 OF AMENDED PLAT OF THE ROSLYN ADDITION TO CLE ELUM;

THENCE SOUTH 42°55'33" WEST, 186.75 FEET MORE OR LESS;

THENCE WESTERLY TO THE NORTHEAST CORNER OF LOT 10 OF SAID BLOCK 9;

THENCE WESTERLY ALONG THE NORTH BOUNDARY LINE OF LOT 10 TO THE EAST BOUNDARY LINE OF SAID LOTS 11-13;

THENCE NORTH 10°21'57" EAST TO THE TRUE POINT OF BEGINNING.



**Western Washington Division**  
165 NE Juniper St., Ste 201, Issaquah, WA 98027  
Phone: (425) 392-0250

[www.EncompassES.net](http://www.EncompassES.net)

**Eastern Washington Division**  
407 Swiftwater Blvd., Cle Elum, WA 98922  
Phone: (509) 674-7433

Page 1 of 1





## KCPHD #2 Boundary Line Adjustment

### Existing Parcel areas:

Parcel no: 474135

32,353 sq. ft. (0.74 Acres)

Parcel no: 484135

11,337 sq. ft. (0.26 Acres)

Parcel no: 504135

66,199 sq. ft. (1.52 Acres)

Parcel no. 074035

9,068 sq. ft. (0.21 Acres)

### Area as a result of adjustment/combination:

Parcel no. TBD

56,845 sq. ft. (1.30 Acres)

### Area remaining after adjustment:

Parcel no: 474135

19,412 sq. ft. (0.45 Acres)

Parcel no: 504135

42,700 sq. ft. (0.98 Acres)

---

**Western Washington Division**  
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Phone: (425) 392-0250

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407 Swiftwater Blvd., Cle Elum, WA 98922  
Phone: (509) 674-7433

[www.EncompassES.net](http://www.EncompassES.net)

119 West First Street  
Cle Elum, WA 98922  
Telephone · (509) 674-2262  
Fax · (509) 674-4097  
www.cityofcleelum.com



Stamp & initial

Received 8/31/2020  
by Lucy Temple  
via email

## CONDITIONAL USE PERMIT APPLICATION

*"Conditional use" means a use that would not be acceptable without restrictions throughout a zoning district and is not permitted by right within a zoning district but which may be permitted subject to meeting certain conditions contained in this title or as may be determined during the review process. See [CEMC 17.80](#) for more information.*

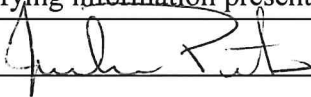
### OFFICIAL USE ONLY

Permit #:	CUP-20 20-001
Staff Person:	Lucy Temple
Fee Total:	NA
Associated Permits:	PREAP, BLA, SDR, VAR

<b>Applicant</b>	
Name: Kittitas Valley Healthcare, Kittitas County Public Hospital District #2	
Mailing Address: 603 South Chestnut Street, Ellensburg, WA 98926	
Email: rurlacher@kvhealthcare.org	Phone Number: Office 509 933-8625 Cell 509 961-9505
<b>Property Owner</b> Same as applicant <input checked="" type="checkbox"/>	
Name:	
Mailing Address:	
Email:	Phone Number:
<b>Property Information</b>	
Project Name: Ambulance Garage	
Address: 111 Pine Street	
Assessor's Parcel No.: 484135	Zoning: General Commercial and Residential
Description of project:	
<p>This project consists of the construction of a new single story 8,500 SF building. (If eaves and soffits are included, the area is 10,574 SF). The building will be wood framed structure with a sloping metal roof. Exterior finishes will be cement based material in board and batten and shingle style siding with some areas using stone or masonry finishes.</p> <p>Site improvements will occur within the approximately 1.53 acre project boundary including an ambulance driveway on the west side of the project site and also off-street parking area on the east side of the project site. This project will also include site improvements, natural gas, domestic water, fire water service, sewer service, electrical service, and landscaping.</p>	

<b>Application Criteria<sup>1</sup></b>	
1.	Legal description of the subject property supplied by Kittitas County, a title company or survey licensed in the state of Washington.
2.	Two hard copies and one electronic copy (PDF) of a site plan drawn to a minimum scale of one inch equals two hundred feet on a sheet no larger than twenty-four inches by thirty-six inches and including one reduced size copy no larger than legal size. The site plan shall contain the following information.
a.	The subject property boundaries.
b.	Dimensions and size.
c.	Location, dimensions and height of all existing and proposed structures.
d.	Location of building accesses.
e.	Proposed setbacks. <a href="#">CEMC 17</a>
f.	Proposed phasing.
g.	Proposed landscaping. <a href="#">CEMC 17.64</a> .
h.	Location and dimensions of vehicle and pedestrian access points and circulation routes. <a href="#">CEMC 17.56</a>
i.	The location of all proposed on-site parking including provisions for handicap parking.
j.	Any easements.
k.	The location of any proposed outdoor lights.
l.	Any other proposed site improvements.
3.	If the applicant is not the legal owner a signed authorization from the legal owner is required. <sup>2</sup>
4.	Written narrative description of uses, types of structures proposed, hours of operation, abutting properties, proposed access, and frequency of deliveries, construction schedule, and how the proposed use complies with the criteria established by <a href="#">CEMC 17.80.050</a> .
5.	Payment of a fee that is consistent with the City of Cle Elum's fee schedule.

1. The application will not be processed and deemed incomplete if not all required criteria is not attached to application on the day of submission. The Planner may choose to wave some of the required criteria. If any of the required criteria is provided in another permit please cite that permit.
2. The owner can sign in allotted space provided under the authorization section of the application or send the City Planner a letter/email with authorization.

Decision Criteria	
1.	The proposed use will be designed and operated in a manner which is compatible with the character, appearance, and operation of existing or proposed development in the vicinity of the subject property
2.	The hours and manner of operation of the proposed use are not inconsistent with adjacent or nearby uses
3.	The proposed use is compatible with the physical characteristics of the subject property and neighboring properties
4.	The location, nature and intensity of outdoor lighting is such that it is consistent with the surrounding neighborhood and does not cast light or glare on adjoining properties
5.	The proposed use is such that it is pedestrian and vehicular traffic associated with the use will not be hazardous or conflict with existing and anticipated traffic in the neighborhood
6.	The proposed use is capable of being served by public facilities and services, and will not adversely the level of service to surrounding areas
7.	The proposed use is not detrimental to the public health, safety, or welfare
8.	The proposed use is consistent with the goals and policies of the comprehensive plan;
9.	The subject site can accommodate the proposed use considering the size, shape, topography and drainage.
Authorization	
<p>The undersigned hereby certifies, under penalty of perjury, that this application has been made with the consent of the lawful property owner(s) and that all information submitted with this application is complete and correct. Furthermore, false statements, errors, and/or omissions may be sufficient for denial of request. The applicant further agrees to reimburse the city for all expenses associated with reviewing the application. This application gives consent to the City to enter the properties listed above for the purposes of inspecting and verifying information presented in this application.</p>	
Applicant Signature: 	Date: 8/31/20
Owner Signature:	Date:





**Principals**

Rod Knipper, AIA  
Dennis W. Dean, AIA  
Brian J. Andringa, AIA

August 28, 2020

Lucy Temple  
City of Cle Elum  
119 West First Street  
Cle Elum, WA 98922

Re: Kittitas County Public Hospital District #2 - Ambulance Garage  
Project No. 201838

**Written response for where to find the requested information from the Conditional Use Permit Application.**

Application Criteria:

1. Legal Description.  
**Response: A legal description has been provided as part of the Type II an II Variance Application.**
2. Site Plan Information: location to find information:
  - 2a. The subject property boundaries  
**Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application and Building Permit Application.**
  - 2b. Dimension and size.  
**Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application and Building Permit Application.**
  - 2c. Location, dimensions, and height of all existing and proposes structures.  
**Response: For existing structures, there are none. Refer to sheet 2 of Encompass Sheets submitted with Site Design Review Application.**  
**For proposed structure, see the attached A2.1 Floor Plan showing building dimensions, and for building height see Architectural A4.1 - Exterior Elevation and Architectural A4.2 - Exterior Elevation submitted with the Site Design Review Application.**
  - 2d. Location of building access.  
**Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application, and the attached A2.1 Floor Plan.**
  - 2e. Proposed setbacks.  
**Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application.**

2f. Proposed phasing.

**Response: No phasing of the construction.**

2g. Proposed landscaping.

**Response: Refer to landscaping plan submitted with the Site Design Review Application.**

2h. Proposed location and dimension of vehicle and pedestrian access points and circulation routes.

**Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application.**

2i. The location of all proposed on-site parking including provisions for handicap parking.

**Response: See the Civil Sheet C3.0 submitted with the Site Design Review Application.**

2j. Any easements.

**Response: See the Civil Sheet C5.0 submitted with the Site Design Review Application.**

2h. The location of any proposed outdoor lights.

**Response: See Electrical Site Plan Sheet E0.1 submitted with the Site Design Review Application. Refer to the callouts for Keynote #7, #8, and Keynote #10 for the outdoor light locations.**

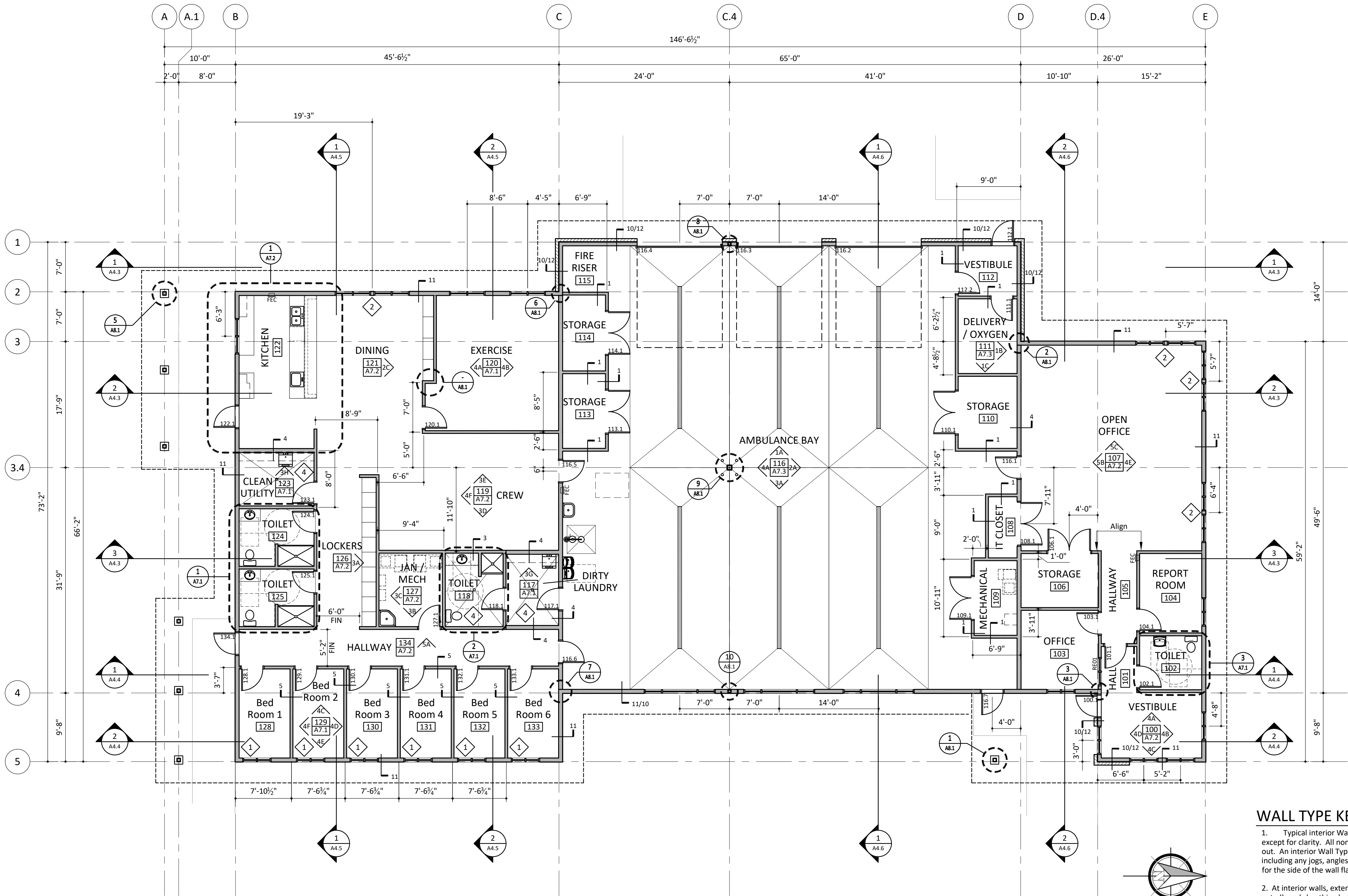
2j. Any other proposed site improvements.

**Response: See the Civil Sheets C3.0, C4.0, and C5.0 submitted with the Site Design Review Application.**

4. Written narrative.

**Response: See the written narrative submitted with the Site Design Review Application.**

V:\Projects\2018\201838 KCPH Dist 2 - Ambulance Garage\6.0 Drawings\6.1 Architectural\6.1.3 CAD\6.1.3.5 Construction Documents\Monson Final\A201.dwg (D Sheet) Jul 14, 2020 - 8:00am By: ronderson



1 Floor Plan  
A2.1

1/8" = 1'-0"

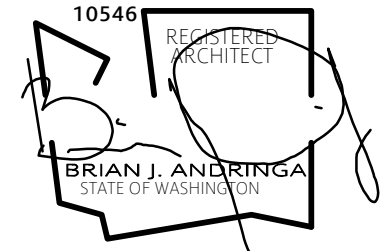
MATERIAL KEYNOTES

SHEET KEYNOTES

- 1 Windows in Bed Rooms are to be installed 6" off east walls. Typical in each bedroom.
- 2 Grouped windows to be centered on given dimension. See Detail 9/A8.3.
- 3 Door centered on Gridline 3.4.
- 4 Slope floor to floor drain.

REVISION	DATE

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SHEET NOTES

KDA ARCHITECTURE

1110 North 140th Avenue, Suite 100, WA 98002  
1206 575 5400 509 831 0292  
www.kdaarchitecture.com



Ambulance  
Garage

KCPH District 2

Cle Elum, WA 98922

DATE: 06/30/20

SCALE: 1/8" = 1'-0"

DRAWN: RHM

JOB: 201838

Floor Plan

SHEET:

A2.1

WALL TYPE KEY

- Typical interior Wall Type "3" is not flagged except for clarity. All non-typical walls are called out. An interior Wall Type continues the full length, including any jogs, angles, recesses, or stub walls for the side of the wall flagged.
- At interior walls, extend studs, insulation (where noted), and sheathing bottom of roof trusses. Cut and fit all walls tight to beams, cuts, pipes, and other objects.
- All exterior framed walls to receive vapor barrier on interior side of framing.
- At walls with insulation, continue insulation full height of wall, UNO.
- All stud framing and furring 16" O.C. UNO.

WALL TYPE KEY  
Symbol Indicates Fill  
(No Symbol= No Fill)  
Number Indicates Wall Type

(E) Existing

INTERIOR WALL TYPES  
See G0.2 for description of wall types.

- Type 1 - Interior (2x4) Partition
- Type 2 - Interior (2x6) Partition
- Type 3 - Acoustic (2x4) Interior Partition
- Type 4 - Acoustic (2x6) Interior Partition
- Type 5 - 1 Hour Rated

EXTERIOR WALL TYPES  
See G0.2 for description of wall types.

- Type 10 - Exterior HardShingle
- Type 11 - Exterior Board and Batten
- Type 12 - Anchored Stone Veneer



**EXHIBIT II. ADMINISTRATIVE CODE INTERPRETATION**



*City of Cle Elum*  
119 West First Street  
Cle Elum, WA 98922



Phone: (509) 674-2262  
Fax: (509) 674-4097  
[www.cityofcleelum.com](http://www.cityofcleelum.com)

**Administrative Code Interpretation  
Applicable to the Processing of a Site and Design Review Application  
Submitted by Kittitas County Hospital District #2  
In Accordance with the Provisions of Cle Elum Municipal Code Title 17  
August 26, 2020**

The following is an administrative code interpretation applicable to the processing of a Site and Design Review application submitted on behalf of the Kittitas County Hospital District #2 to construct a new ambulance garage facility adjacent to the hospital. This interpretation is based on the facts unique to this situation.

The Hospital District has prepared and submitted plans to the City for the construction of an 8,500 square foot building on 1.53 acres. This facility will include a six-bay garage for ambulances, quarters for six crew members, dining facilities, training rooms, and 18 new parking stalls. The need for the administrative code interpretation arises from uncertainty regarding the interpretation of the Official Zoning Map and Cle Elum Municipal Code Title 17. A recent boundary line adjustment has resulted in the merger of two parcels and the addition of lots from adjoining parcels under common ownership. The proposed development will occur entirely within the boundaries of this merged and expanded lot. However, as a result of this merger and expansion, this lot has split zoning with the larger portion being General Commercial and the smaller portion being Residential. This raises a question as to how best to process the development proposal in a timely and expeditious manner.

This code interpretation is based on the following facts, findings, and considerations:

1. All parcels owned by the Hospital District have been designated as Commercial on the Future Land Use Map approved by the City Council on December 10, 2019.
2. An ambulance garage is not a land use identified in Cle Elum Municipal Code (CEMC) Title 17. However, CEMC 17.04.040 Nonconforming uses provides that:

*The planning director may permit in a district any use not described in this title which is deemed by the planning director to be in general keeping with the uses authorized in such district and is consistent with the provisions of the*



*Administrative Code Interpretation  
Applicable to the Processing of a Site and Design Review Application  
Submitted by Kittitas County Hospital District #2  
In Accordance with the Provisions of Cle Elum Municipal Code Chapter 17  
August 20, 2020*

*comprehensive plan. Such decisions by the planning director may be appealed per provisions of Section [17.100.120](#).*

3. In reviewing the plans for the proposed ambulance garage, it appears that it is functionally equivalent to a fire station. Both facilities involve the storage, maintenance, and dispatch of emergency vehicles, and both provide quarters for crews as well as associated facilities such as dining and training facilities.
4. Fire stations are not specifically identified as a land use in CEMC Title 17, but as an essential public facility, they would properly be considered a Public Use.
  - a. Public Uses are permitted in the General Commercial zoning district.
  - b. Public Uses are not identified as a permitted use in the Residential zoning district, but municipal buildings are identified as a conditional use.
  - c. The City Fire Station is located in the Residential zoning district.
5. The proposed ambulance garage will be operated by the Hospital District and is adjacent medical facilities operated by the Hospital District. Hospitals are a permitted as a conditional use in the Residential zoning district.
6. The proposed ambulance garage is subject to Site and Design Review in accordance with the provisions of CEMC 17.76 including 17.76.040 which provides that:

*C. Decision. The planning director or review authority shall review the design review application for compliance with the design and zoning regulations of this code, using the design guidelines within the zoning districts and comprehensive plan to interpret how the regulations apply to the subject property. After reviewing the application and application materials, the planning director may grant, deny, or conditionally approve the application subject to modifications and the requirements of CEMC [17.100](#). No development permit for the subject property requiring design review approval will be issued until the proposed development is granted design review approval or conditional approval. The terms of the design review approval or conditional approval will become a condition of approval on each subsequent development permit and no subsequent development permit will be issued unless it is consistent with the design review approval or conditional approval. The planning director shall send written notice of the design review decision to the applicant. If the design review application is denied, the decision shall specify the reasons for denial.*

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7. Site and Design Reviews are processed as a Type II application in accordance with the provisions of CEMC 17.100.040 and 17.100.080. This includes the distribution of a Notice of Application, opportunities for the public to submit written comments, the issuance of a written Notice of Decision, and the right of appeal to the City Council.
8. Conditional use permit applications are processed as a Type III application in accordance with the provisions of CEMC 17.100.040 and 17.100.090 which includes the distribution of a Notice of Application, a public hearing conducted by the City Planning Commission, the issuance of a written Notice of Decision, and the right of appeal to the City Council.
9. If a variance from City Development Standards is requested by the Project Sponsor, CEMC 17.85.030 Procedures provides that:

*C. Variances of greater than ten percent of any required standard shall be processed as a Type III application.*

10. CEMC 17.100.040 Application types and classifications provides that:

*B. Where the city must approve more than one (1) permit application for a project, all applications may be considered at one time. Where different permit applications required for a development are subject to different procedure types, all applications will be subject to the procedure type that requires the greatest level of public notice and involvement. {Emphasis added}*

11. CEMC 17.76.030 Timing provides that:

*For any development activity that requires design review, the applicant must comply with provisions of this chapter prior to approval of a building permit or undertaking any development activity; provided that an applicant may submit a building permit application at any time during the design review process. {Emphasis added}*

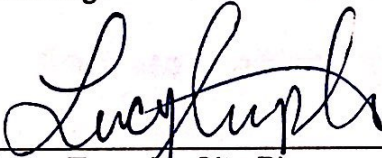
Therefore, in consideration of these facts and findings, with an emphasis on the following:

1. The ambulance garage proposed by the Hospital District is on a parcel that is primarily zoned as General Commercial.
2. The parcel is designated as Commercial on the Future Land Use Map in the recently updated Comprehensive Plan.

*Administrative Code Interpretation  
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August 20, 2020*

3. The proposed ambulance garage is functionally equivalent to a Fire Station which is permitted outright in the General Commercial zoning district and conditionally in the Residential zoning district.

I hereby Interpret the Cle Elum Municipal Code Title 17 to provide that in this instance in which a parcel has split zoning, that the application submitted by Kittitas County Hospital District #2 for the construction of an ambulance garage shall be processed as a Type III permit and the processing of the application for Site and Design Review, and a variance request shall be processed concurrently with an application for a conditional use permit. Furthermore, the Applicant may apply for a building permit at any time during this review process, provided that a building permit may not be issued until the conditional use permit has been approved. It should also be noted that as a result of public health directives to address the COVID-19 pandemic, that alternative methods for receiving public comments may be provided in lieu of a traditional public hearing.

  
\_\_\_\_\_  
Lucy Temple, City Planner

8/26/2020  
Date

### **EXHIBIT III. SEP-2020-004**





*City of Cle Elum*  
119 West First Street  
Cle Elum, WA 98922



Telephone: (509) 674-2262  
Fax: (509) 674-4097  
[www.cityofcleelum.com](http://www.cityofcleelum.com)

## CITY OF CLE ELUM

### STATE ENVIRONMENTAL POLICY ACT (SEPA) CHECKLIST AND DETERMINATION OF NONSIGNIFICANCE (DNS)

#### Who?

Applicant: Hospital District #2

State Environmental Policy Act (SEPA) Lead Agency: City of Cle Elum

SEPA Official: Lucy Temple, City Planner

#### What?

The City of Cle Elum has issued a Determination of Nonsignificance (DNS) for a State Environmental Policy Act (SEPA) Checklist to reconstruct an 8,500 square foot ambulance garage with staff quarters.

Documentation is available at City Hall or on the development regulation update webpage:

<http://cityofcleelum.com/city-services/administrative-services/public-notices/>

#### When?

A 14-day comment period is required, which ends **June 16, 2020**. Once the current comment period ends and all written comments received are reviewed, the Lead Agency will determine whether to retain, withdraw, or amend the DNS as appropriate.

#### Where?

Hospital District #2 property west of S. Pine St. near Davis St. (vicinity map on reverse side).

#### Why?

The purpose of this SEPA Checklist is to environmentally evaluate the project. The DNS is the decision document issued by the SEPA Official at the SEPA Lead Agency.

Per Cle Elum Municipal Code 15.28.200, WAC 197-11-340(2), and 197-11-800(d) the SEPA Checklist and DNS are being distributed to agencies with Jurisdiction. Others will receive this summary documentation as a courtesy or due to a request.

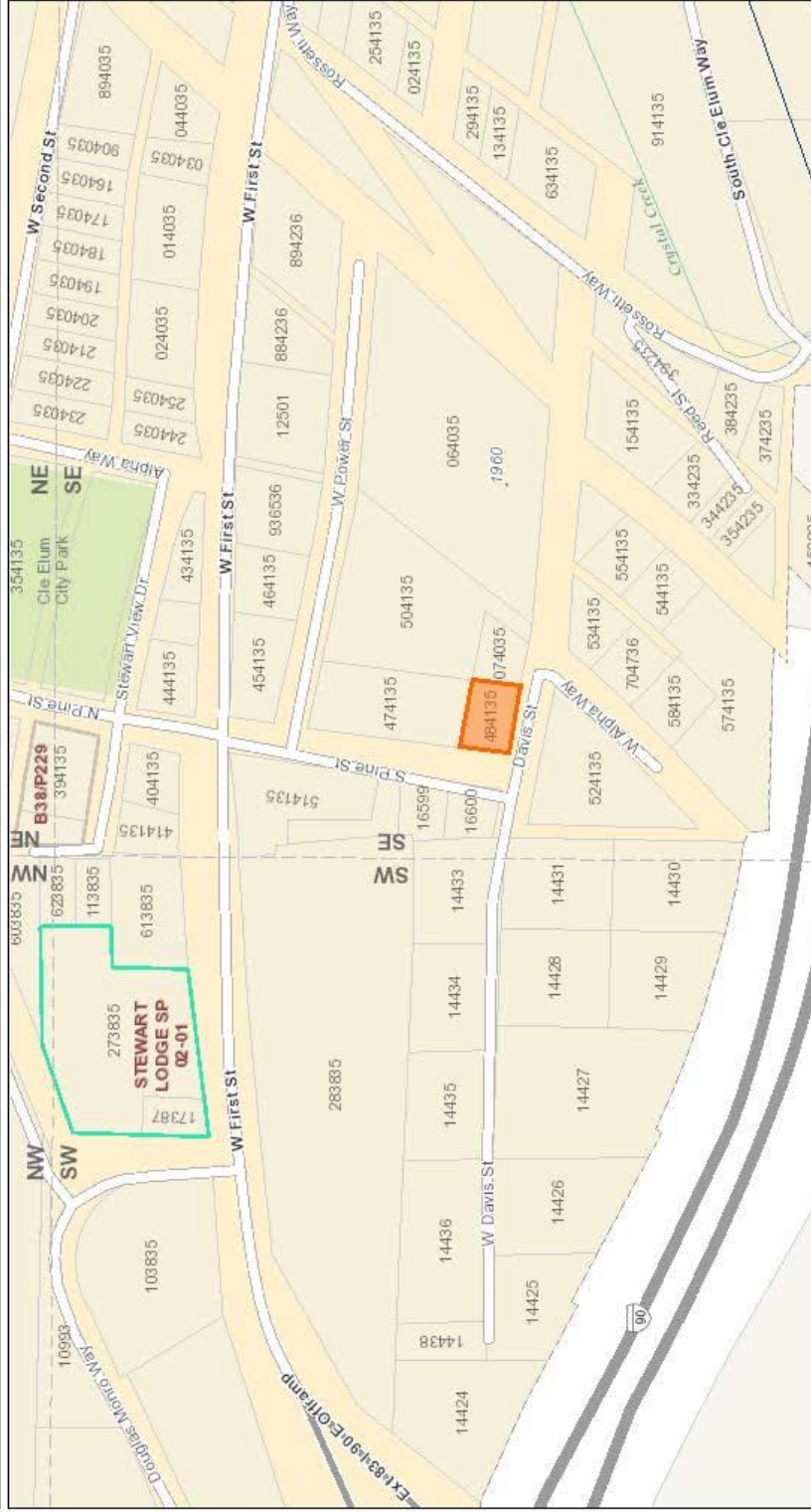
#### COMMENTS SHOULD BE SENT TO:

[lucy@cityofcleelum.com](mailto:lucy@cityofcleelum.com)

OR

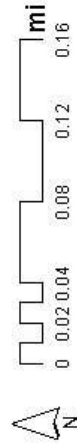
Lucy Temple, SEPA Official  
119 West First Street  
Cle Elum, WA 98922

# Hospital District Mailing Map



Date: 5/27/2020

**Disclaimer:**  
 Kittas County makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data, its use, or its interpretation. Kittas County does not guarantee the accuracy of the material contained herein and is not responsible for any use, misuse or representations by others regarding this information or its derivatives.



1 inch = 376 feet  
 Relative Scale 1:4,514







**CITY OF CLE ELUM**  
**DETERMINATION OF NONSIGNIFICANCE (DNS)**  
**June 2, 2020**

---

**DESCRIPTION OF PROPOSAL:**

The Kittitas County Hospital District #2 has proposed to construct and operate an ambulance garage with staff quarters.

**PROPONENT:** Hospital District #2

**LOCATION OF PROPOSAL:**

The ambulance garage is proposed to be located on their property at northeast of the intersection with Pine Street and Davis Street in Cle Elum within the existing clinic complex, Lat 47.194839, Long -120.952122.

**LEAD AGENCY:** City of Cle Elum

**DETERMINATION:**

The lead agency for this proposal has determined that the proposal (SEP-2020-004) does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW [43.21C.030\(2\)\(c\)](#) and [WAC 197-11](#). This decision was made after review of a completed SEPA environmental checklist and other information on file with the lead agency. The responsible official finds this information reasonably sufficient to evaluate the environmental impact of this proposal. The project information is available for public review on the City's website at: <http://cityofcleelum.com/city-services/administrative-services/public-notices/>

**ACTION:**

This DNS is issued under WAC [197-11-340\(2\)\(v\)](#) and [CEMC 15.28](#); the lead agency will not typically act on this proposal for 14 days from the date the DNS is signed.

**RESPONSIBLE OFFICIAL:** Lucy Temple  
**POSITION/TITLE:** City Planner  
**ADDRESS:** 119 West First Street, Cle Elum, WA 98922  
**EMAIL:** [lucy@cityofcleelum.com](mailto:lucy@cityofcleelum.com)  
**PHONE NUMBER:** (509) 674-2262

**DATE:** June 2, 2020    **Signature:**

*Pursuant to CEMC 15.28.250 this DNS may be appealed by submitting specific factual objections in writing with a fee of \$550.00 to the Cle Elum City Council, 119 West First Street, Cle Elum, WA 98922.*

SEP-2020-004 Hospital District #2 Ambulance Garage

KITTITAS COUNTY PUBLIC HOSPITAL DISTRICT #2, NEW AMBULANCE GARAGE  
SEPA ENVIRONMENTAL CHECKLIST

05/15/2020

A. BACKGROUND

1. Name of proposed project, if applicable:

*Kittitas County Public Hospital District #2, New Ambulance Garage*

2. Name of Applicant:

*Kittitas Valley Healthcare  
Kittitas County Public Hospital District #2*

*KDA Architecture*

3. Address and phone number of applicant and contact person:

*Kittitas Valley Healthcare  
Kittitas County Public Hospital District #2  
Ron Urlacher, Director of Facility Services  
603 South Chestnut Street, Ellensburg, WA 98926  
Office (509) 933-8625  
Cell (509) 961-9505*

*KDA Architecture  
Erik D. Dodge, Architect  
1310 N. 16<sup>th</sup> Avenue, Yakima, WA 98902  
Office (509) 575-5408  
Cell (509) 961-9092*

4. Date checklist prepared:

*May 15, 2020*

5. Agency requesting checklist:

*City of Cle Elum. Department of Ecology*

6. Proposed timing or schedule (including phasing, if applicable):

*September 2019 begin design process, plan review submittal to City July 2020, site clearing & tree removal June 2020, bidding July-August 2020, start construction September 2020, end construction June 2021, Move in June 2021.*

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

*Yes. The property owner will also apply for a parcel combination.  
Ambulance building is shown on plans that straddles multiple existing property lines.*

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

*A Geotechnical report will be developed as a part of the project, but has not been performed.*

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

*No*

10. List any government approvals or permits that will be needed for your proposal, if known.

*City of Cle Elum:*

*Boundary Line Adjustment*

*Variance (request to deviate from full public improvements along the south  
property line, South Davis Street)*

*Site and Design Review (Type I)*

*Building permit*

*Utility permits*

*State of Washington*

*Labor & Industries*

*Ecology Construction Stormwater General Permit*

*Our understanding is that a DNR Forest Practices Application for Tree Clearing is  
not needed if under 2 acres.*

11. Give a brief, complete description of your proposal, including the proposed uses and the size of the project and site.

*This project is for the construction of a new single story 8,500 SF ambulance garage  
and staff quarters building for Kittitas County Public Hospital District #2.*

*This building will include (6) interior parking bays for ambulances, crews' quarters  
including (6) sleeping units, food prep and eating areas, miscellaneous living  
quarters, and offices.*

*The building will be built as a slab on grade floor, so minor amounts of excavation  
cut/fill will occur. The building will be wood framed structure with a sloping metal  
roof. Exterior finishes will be cement based material in board and batten and shingle*



*style siding with some areas using stone or masonry finishes. The project will include on-site parking for staff and visitors to be located on the east side of the building.*

*The hours of operation for the ambulance crew is 24 hours a day, 7 days a week, 365 days a year. There are three crews that will rotate shifts for the facility. Visitors hours will be business hours.*

*Building and site improvements will occur within the approximately 1.53 acre project boundary including an ambulance driveway on the west side of the project site and also off-street parking area on the east side of the project site. This project will also include site improvements including, natural gas, domestic water, fire water service, sewer service, electrical service, and landscaping.*

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range of boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit application related to this checklist.

*The project is proposed to be located at the intersection of South Pine Street and West Davis Street, on the southwest corner of the Cle Elum Medical Center Clinic campus located at 201 Alpha Way, Cle Elum.*

*See attached Site Plan information:*

- *Project Location dated 04/23/20*
- *Existing Campus Site Plan dated 05/21/18*
- *Encompass Site Survey (2 pages) dated 07/16/18*  
*(Pages 5 and 6 of drawing set provided)*
- *Proposed Site Plan – See Sheet G0.4 dated 05/04/20*  
*(Page 3 of drawing set provided)*

## **B. ENVIRONMENTAL ELEMENTS**

### **1. EARTH**

- a. General description of the site (circle one): (flat), rolling, hilly, steep slopes, mountainous, other

*Refer to the attached Encompass site survey (page 2 of 3) indicating topographic information of existing grades.*  
*(Page 6 of the drawing set provided.)*

- b. What is the steepest slope on the site (approximate percent slope)?

*8%.*

- c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

*Unknown for sure, but soils within the jurisdiction are generally Xerofluvents and ashy loams. The site does not contain agricultural soils, or prime farmland.*

- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

*No.*

- e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

*The building will be built as a slab on grade floor, so minor amounts of excavation cut/fill will occur.  
Grading will be required for building foundation.  
Imported structural fill may be required under foundation.  
Grading will be required for new parking area.  
Excavation and grading will be performed to create swales to capture storm water on site.  
The approximate quantities of excavation and filling are: 1,500 CY of cut and 1,300 CY of fill*

- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

*Minor amounts are possible, but intent is to minimize erosion.  
Measures will be put in place to minimize erosion during the construction process (SWPPP/TESC).*

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

*Total area of impervious site surfaces after project completion will be approximately 45%.*

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

*Measures will be put in place to minimize erosion during the construction process (SWPPP/TESC).*

*Although erosion is not anticipated on the improved site, landscaping of plantings and mulches will be used to help reduce possible erosion.*

2. AIR

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

*We anticipate that dust will be generated during construction and appropriate dust control measures will be taken to ensure we comply with Ecology: Central Regional Office and City of Cle Elum standards. Some diesel emissions from grading equipment.*

*After the project is complete, minimal amounts of emissions will be exhaust from the building with typical HVAC equipment and upon power loss when the backup generator runs.*

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

*No*

- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

*None*

3. WATER

- a. Surface:

1.) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

*No.*

2.) Will the project require any work over, in, or adjacent to (within 100 feet) the described waters? If yes, please describe and attach available plans.

*No. No water body.*



3.) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

***Not Applicable. No water body.***

4.) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

***No. None.***

5.) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

***No.***

6.) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

***No. None.***

b. Ground Water:

1.) Will ground water be withdrawn, or will water be discharged to ground water? Give general description, purpose, and approximate quantities if known.

***No***

2.) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: domestic sewage; industrial, containing the chemicals; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

***None. The buildings SS system will be connected to City of Cle Elum sewer system to the South in Davis Street.***

c. Water Runoff (including stormwater):

1.) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

*The source of water runoff is from the building roof and parking areas. The property will have 3 swales constructed to manage the runoff. The swales will operate in a traditional fashion and allow runoff to percolate into the ground and evaporate.*

*See Sheet C4.0 and C5.0, (Page 8 and 9 of drawing set provided)*

2.) Could waste materials enter ground or surface water? If, so generally describe.

*The drainage from the ambulance bays will have separation designed in while run off to the swales will not.*

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

*Ground and asphalt surfaces will be sloped to the catch basins and the swales. Swale capacity will be designed based on local 25-year rain fall projections.*

4. PLANTS

a. Check or circle types of vegetation found on the site; (deciduous trees): alder, maple, aspen, other; (evergreen trees): fir, cedar, pine, other shrubs, grass, pasture, crop or grain wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other water plants: water lily, eelgrass, milfoil, other types of vegetation. What kind and amount of vegetation will be removed or altered?

*Most trees, not densely populated, will be removed but those that don't pose a threat and are not in the construction area will be left. Surrounding native grasses and plants in this area will also stay native. Other native plants in the construction area will also be removed.*

b. List threatened or endangered species know to be on or near the site.

*None*

- c. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any;

*As described in 4 a. In addition shrubs and other annuals suited for this area will be planted on the property. A landscape architect will be used to make those selections. The owner's intent is low maintenance and conservative quantities.*

5. ANIMALS

- a. Circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

birds: hawk, heron, eagle, (songbirds), other:

mammals: deer, bear, elk, beaver, other: None

fish: bass, salmon, trout, herring, shellfish, other: None

- b. List any threatened or endangered species known to be on or near the site.

*None*

- c. Is the site part of a migration route? If so, explain.

*None known.*

- d. Proposed measures to preserve or enhance wildlife, if any;

*None*

- e. List any invasive species known to be on or near the site;

*None*

6. ENERGY AND NATURAL RESOURCES

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

*Natural gas will be used for heating and cooking purposes. The furnaces and heating water boiler will be condensing high efficiency appliances. Electricity will be used during cooling season and to run all fans, pumps, and lights.*



- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

***No***

- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

***All work will meet or exceed all current energy codes. The furnaces for the living quarters and the office area are rated at 96% efficiency. The Boiler for the slab heat in the ambulance bay is rated at 95% efficiency. Required ventilation air will be via 2 energy recovery ventilators. All lighting will be LED and will have lighting controls for daylight harvesting, and occupancy sensors where appropriate.***

## 7. ENVIRONMENTAL HEALTH

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

***No***

- 1.) Describe any known or possible contamination at the site from present or past uses.

***None***

- 2.) Describe existing hazardous chemicals and conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity;

***None***

- 3.) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

***None***

- 4.) Describe special emergency services that might be required;

***None***

5.) Proposed measures to reduce or control environmental health hazards, if any;

***None***

b. Noise

1.) What types of noise exist in the area which may affect your project (for example; traffic, equipment, operation, other)?

***None. One bordering road is dead end the other is low speed and low traffic count. Hospital District 2 Building directly to the North East is a Family Medicine Clinic operated by Kittitas Hospital district 1. We don't foresee any noise issues coming from them nor do we anticipate any noise issues going to them. Both sites have generators and will run at the same time when power is lost.***

***Generally the construction hours will be from 7am to 5pm, Monday thru Friday. Housing is sparse in surrounding areas. Largest impact will be the ambulance sirens. Traffic in and out of the facility will be minimal. Generally is not a public building.***

3.) Proposed measures to reduce or control noise impacts, if any:

***Construction activities during normal business hours. No measures for post construction.***

8. LAND AND SHORELINE USE

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

***There is no current use of the site. To the North East is Cle Elum Family Medicine clinic that operates Monday through Friday during normal business hours. This Clinic is down stream of prevailing winds so dust control during construction will be critical. The project will be constructed on several partials and Hospital District 2 is in the process of combining those partials. Some of the partials are currently zoned residential and some are currently zoned general commercial. The City of Cle Elum is in the process of re zoning that area for commercial use. One partial has a house on it and is owned by Hospital District 2.***

b. Has the project site been used as working farmlands or working forest lands?

***No.***

- c. Describe any structures on the site.

***There are no existing structures on the site.***

- d. Will any structures be demolished? If so, what?

***No***

- e. What is the current zoning classification of the site?

***General commercial and residential. Cle Elum is updating zoning maps and assures us it will be zoned commercial consistent for use with this type of facility.***

- f. What is the current comprehensive plan designation of the site?

***The Comprehensive Plan designates the proposed site as General Commercial and Residential.***

- g. If applicable, what is the current shoreline master program designation of the site?

***Not Applicable. This parcel is inside the City limits and is not identified as a shoreline as part of the master program designation.***

- h. Has any part of the site been classified as an “environmentally sensitive” area? If so, specify.

***No***

- i. Approximately how many people would reside or work in the completed project?

***Up to 6 crew members per shift and one day manager.***

- j. Approximately how many people would the completed project displace?

***None***

- k. Proposed measures to avoid or reduce displacement impacts, if any:

***None***

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

***Building Architecture to be similar to the adjacent family medicine clinic to create a campus effect. Some trees that do not oppose a threat will be left standing to tie in with the native surroundings.***



- I. Proposed measures to ensure the proposal is compatible with nearby agricultural and forestlands of long-term commercial significance, if any:

***Not applicable. The site is not near any farm land and is within the city limits.***

## 9. HOUSING

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low -income housing.

***Not intended to be housing but sleeping quarters for on duty staff.***

- b. Approximately how many units, if any, would be eliminated; indicate whether high, middle, or low-income housing.

***None. No units of housing will be eliminated.***

- c. Proposed measures to reduce or control housing impacts, if any:

***None. Proposal should not have an impact on housing.***

## 10. AESTHETICS

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building materials(s) proposed?

***The existing building is approximately 35 feet tall to top of roof.  
The building exterior will be rock, brick, cement based baton siding, shingle siding and cement based fascia with a metal roof.***

- b. What views in the immediate vicinity would be altered or obstructed?

***None***

- c. Proposed measures to reduce or control aesthetic impacts, if any:

***The new building will follow the City of Cle Elum Land Development Code. Landscaping will be used to screen and reduced visual impact. The building will also meet height restrictions as set by the City of Cle Elum.***

## 11. LIGHT AND GLARE

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

*Site lighting will be provided in the parking lots and at the building. All lighting will be designed to meet City of Cle Elum requirements. Site lighting will be provided at night for safety and security purposes. We don't anticipate any glare from the metal dark colored roofing or siding finishes.*

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

*Not anticipated. Other than the flag light all lighting will be down lighting.*

- c. What existing off-site sources of light or glare may affect your proposal?

*We don't foresee any.*

- d. Proposed measures to reduce or control light and glare impacts, if any:

*Outside lighting will not exceed local or state code or recommended lumens for safety and security.*

## 12. RECREATION

- a. What designated and informal recreational opportunities are in the immediate vicinity?

*Cle Elum City park to the North approximately .75 miles.*

- b. Would the proposed project displace any existing recreational uses? If so, describe.

*No*

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

*None*

### 13. HISTORIC AND CULTURAL PRESERVATION

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe.

***No. Hospital District 2 owns one house that is on lot 2 and 3. This house is most likely in excess of 45 years old but is not known to be on any historic registers. The house is not slated to be demoed or altered.***

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation. This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

***We have not noticed evidence or ben made aware of any thing listed above.***

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

***None.***

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

***None***

### 14. TRANSPORTATION

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.

***The site access to public and staff parking is from the north of Power Street through a short section of Alpha Way. Access for the ambulances is off of Pine Street to the west. Pine Street to the North leads to West First Street which runs east and west. West First Street to the east drops down the hill to Cle Elum city center. If you continue to head north on Pine Street for 1 mile you will intersect Highway 903. Refer to attached Sheet G0.1 for Vicinity map, and Sheet G0.4 for Site Code Plan showing the site plan and adjacent streets. (Page 1 and 3 of drawing set provided)***

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

*There is no city public transit in Cle Elum.*

- c. How many additional parking spaces would the completed project or nonproject proposal have? How many would the project or proposal eliminate?

*The proposed project would provide 18 new parking spaces and would eliminate 7.*

- d. Will the proposal require any new, or improvements to, existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

*Yes. The proposed project will require road improvement to half the width of Davis, and sidewalk addition from Pine Street to the center of Alpha Way. The Residential property entrance off of Pine Street will need to be widened for commercial use by the owner.*

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

*No*

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?

*The ambulance traffic will be the majority of the traffic. The ambulance traffic averages 6 trips per day. The max 6 EMS staff report for duty and do not come and go much while on shift other than EMS calls. There will be occasional oxygen delivery truck and other building service personal. Transportation models were not required for this.*

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

*The project is not expected to interfere with or be affected by the movement of agricultural and forest products on roads or streets in the area.*



- h. Proposed measures to reduce or control transportation impacts, if any: Identify public streets and highways serving the site, and describe proposed access to the existing street system.

*No measures are proposed or needed to reduce/control transportation impacts associated with the proposed project at this time. See 14 a. for street access.*

15. PUBLIC SERVICES

- a. Would the project result in an increased need for public services (for example; fire protection, police protection, health care, schools, other)? If so, generally describe.

*None anticipated.*

- b. Proposed measures to reduce or control direct impacts on public services, if any:

*None*

16. UTILITIES

- a. Circle utilities currently available at the site: (electricity), (natural gas), (water), (refuse service), (telephone), (sanitary sewer), septic systems, other.

*Electricity – Puget Sound Energy*

*Natural Gas - Puget Sound Energy*

*Water - City of Cle Elum*

*Refuse Service – Waste Management of Washington*

*Telephone - City of Ellensburg*

*Sanitary Sewer - City of Cle Elum*

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity that might be needed.

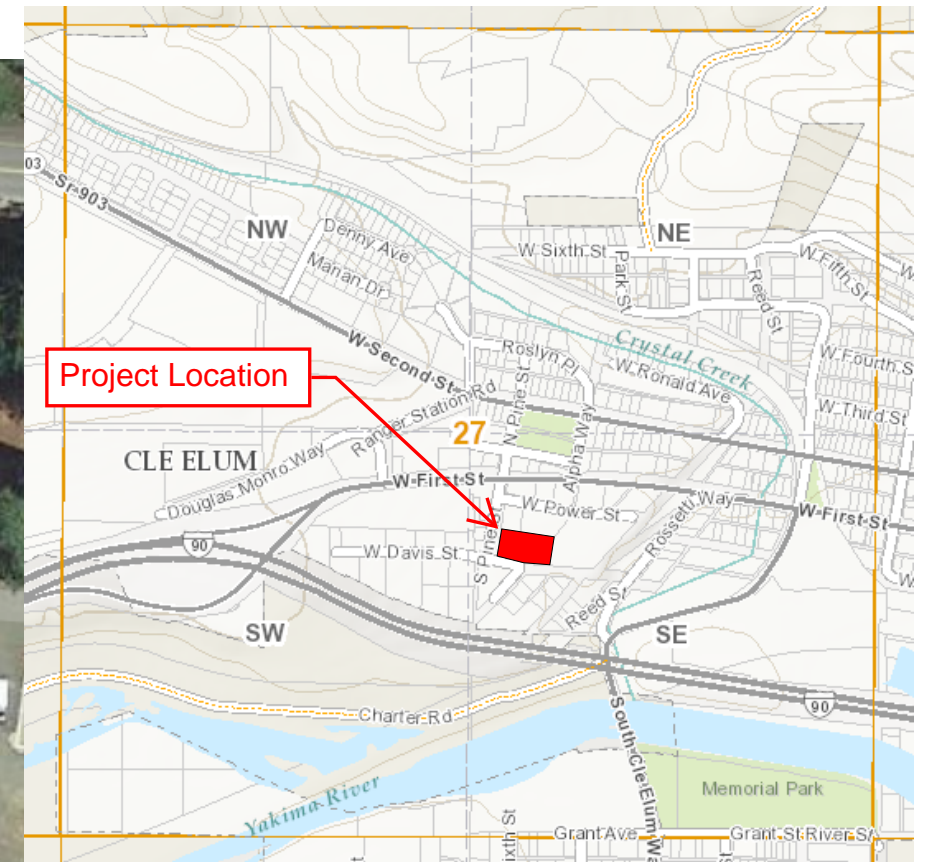
- *Electrical service will come off of Pine underground and supply power to a new pad mounted transformer that will serve the building. The location of the transformer will also be where the meter is and the backup generator. See Sheet C5.0.  
(Page 4 of drawing set provided)*
- *The natural gas service will go across Pine Street and enter the South West corner of the ambulance bay area. See sheet C5.0  
(Page 4 of drawing set provided)*
- *The domestic water line will be a 1 ½" service and tie into the main in Davis Street and run north across Davis Street and enter the building in the South west corner of the ambulance bay area. See sheet C5.0*
- *Telephone - TBD*
- *Data - TBD*
- *The Sanitary sewer will be a 4" service and tie into the city main in Davis Street. It will run north across Davis Street and enter the building on the south face near the east corner. See sheet C5.0  
(Page 4 of drawing set provided)*

#### C. SIGNATURE

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature:  Date Submitted: 05/15/2020





- 100' from subject site
- Project Boundary
- Location of future building

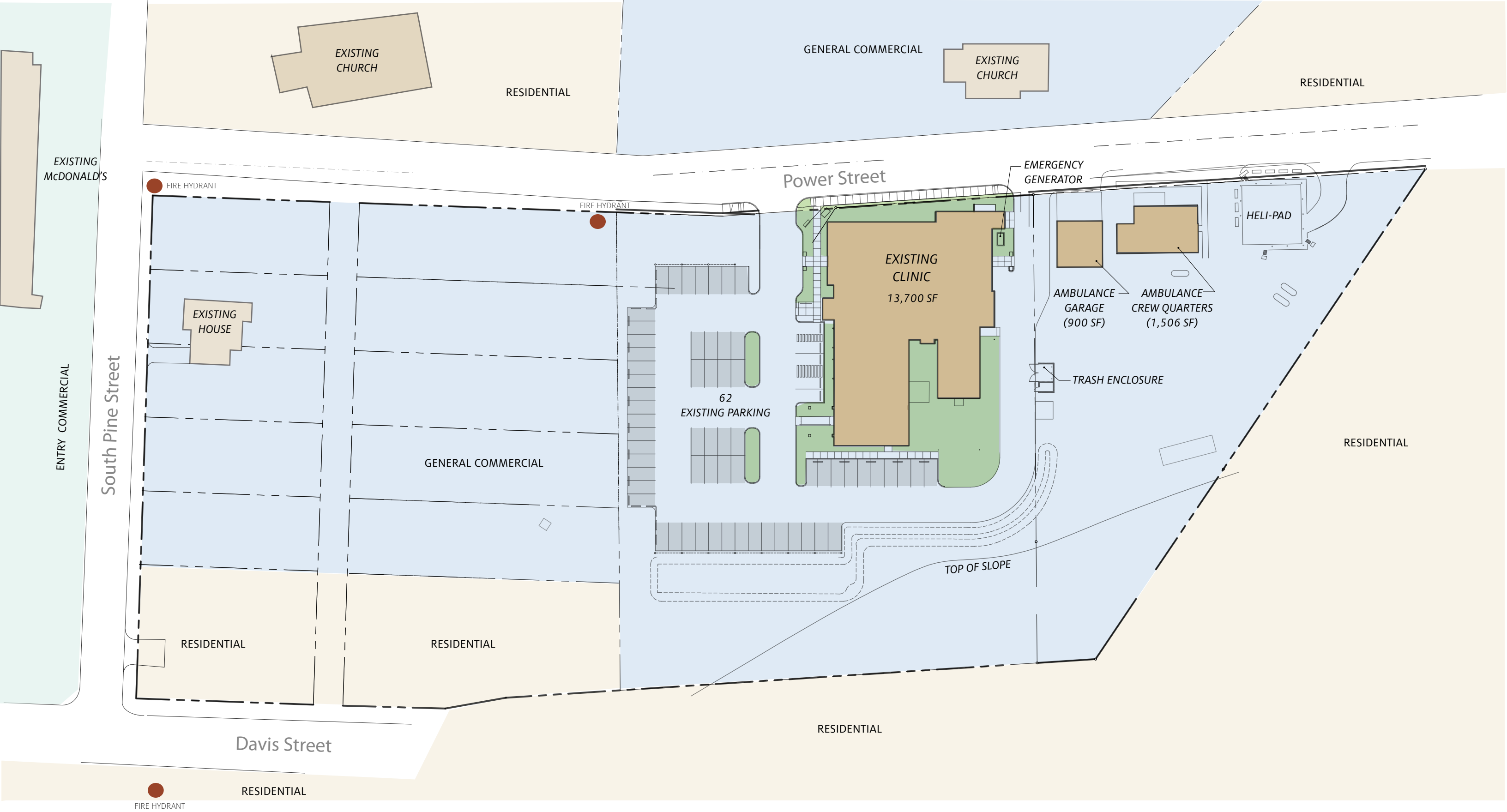
# Existing Site

## KCPHD #2 Ambulance

4/23/2020







# Existing Site Plan

KVH-Cle Elum

(Total Site Area= 245,990 SF, 5.65 Acres)

5/21/2018

60'=1'-0"





# AMBULANCE GARAGE

## KITTITAS COUNTY PUBLIC HOSPITAL - DISTRICT #2

### PROJECT PERSONNEL

<b>Client:</b> Kittitas Valley Healthcare Kittitas County Public Hospital - District #2 603 South Chestnut Street Ellensburg, Washington 98926 (509) 962-9841	
Contact: Ron Urlacher	
<b>Architect:</b> KDA Architecture 1310 North 16th Avenue Yakima, Washington 98902 (509) 575-5408 (509) 453-0293 (Fax)	<b>Structural:</b> Leslie Engineering 502 North 40th Avenue, Suite 3 Yakima, Washington 989082 (509) 225-7704 (509) 388-2445 (Fax)
Principal-in-Charge: Brian Andringa Project Manager: Erik Dodge	Contact: Matt Leslie, SE Email: matt@leslieengineering.com
<b>Civil:</b> Leslie Engineering 502 North 40th Avenue, Suite 3 Yakima, Washington 989082 (509) 225-7704 (509) 388-2445 (Fax)	<b>Mechanical:</b> Routh Consulting Engineers 4512 North 44th Place Pasco, Washington 99301 (509) 574-8262 (509) 542-6050 (Fax)
Contact: Darko Hrle, PE Email: darko@leslieengineering.com	Contact: Rick Routh, PE Email: routhconsultingengineers@charter.net
<b>Landscape Architect:</b> The Berger Partnership 1927 Post Alley, Suite 2 Seattle, Washington 98101 (206) 325-6877 (206) 323-6867 (Fax)	<b>Electrical:</b> Picatti Engineering & Service PO Box 10034 Yakima, Washington 98909 (509) 941-7624
Contact: Jason Henry Email: david@picatties.com	Contact: David Picatti Email: david@picatties.com



View From Pine Street

### PROJECT DESCRIPTION

This project is for the construction of a new single story 8,500 SF ambulance garage and staff quarters building for Kittitas County Public Hospital District #2.

The project is proposed to be located at the intersection of South Pine Street and West Davis Street, on the southwest corner of the Cle Elum Medical Center Clinic campus located at 201 Alpha Way, Cle Elum.

This building will include (6) interior parking bays for ambulances, crews' quarters including (6) sleeping units, food prep and eating areas, miscellaneous living quarters, and offices.

The building will be built as a slab on grade floor. The building will be wood framed structure with a sloping metal roof. Exterior finishes will be cement based material in board and batten and shingle style siding with some areas using stone or masonry finishes. The project will include on-site parking for staff and visitors to be located on the east side of the building.

The hours of operation for the ambulance crew is 24 hours a day, 7 days a week, 365 days a year. There are three crews that will rotate shifts for the facility. Visitor's hours will be business hours.

Building and site improvements will occur within the approximately 1.53 acre project boundary including an ambulance driveway on the west side of the project site and also off-street parking area on the east side of the project site. This project will also include site improvements including, natural gas, domestic water, fire water service, sewer service, electrical service, and landscaping.

The Project Address Is:  
201 Alpha Way  
Cle Elum, WA 98922

### MATERIAL KEYNOTES

### WALL LEGEND

	Existing to Remain, UNO.
	Existing to be Removed
	New Wood / Metal Framing, UNO.
	New Fire Rated Wall
	New Concrete Wall
	New CMU Wall
	New Acoustic Wall

### DRAWING LEGEND

Wall Section Number Sheet Where Located	
Detail Number Sheet Where Located	
Plan, Section, or Detail Number Sheet Where Located	 Detail 1/8" = 1'-0" Detail Scale
Sheet Keynote Number	
Room Number	
Room Number Interior Elev. Sheet	 Interior Elevation Number & Direction
Window Number	
Door Number	
Relite Number	
Number Indicates Wall Type Asterisk Indicates Fill (No Symbol = No Fill)	

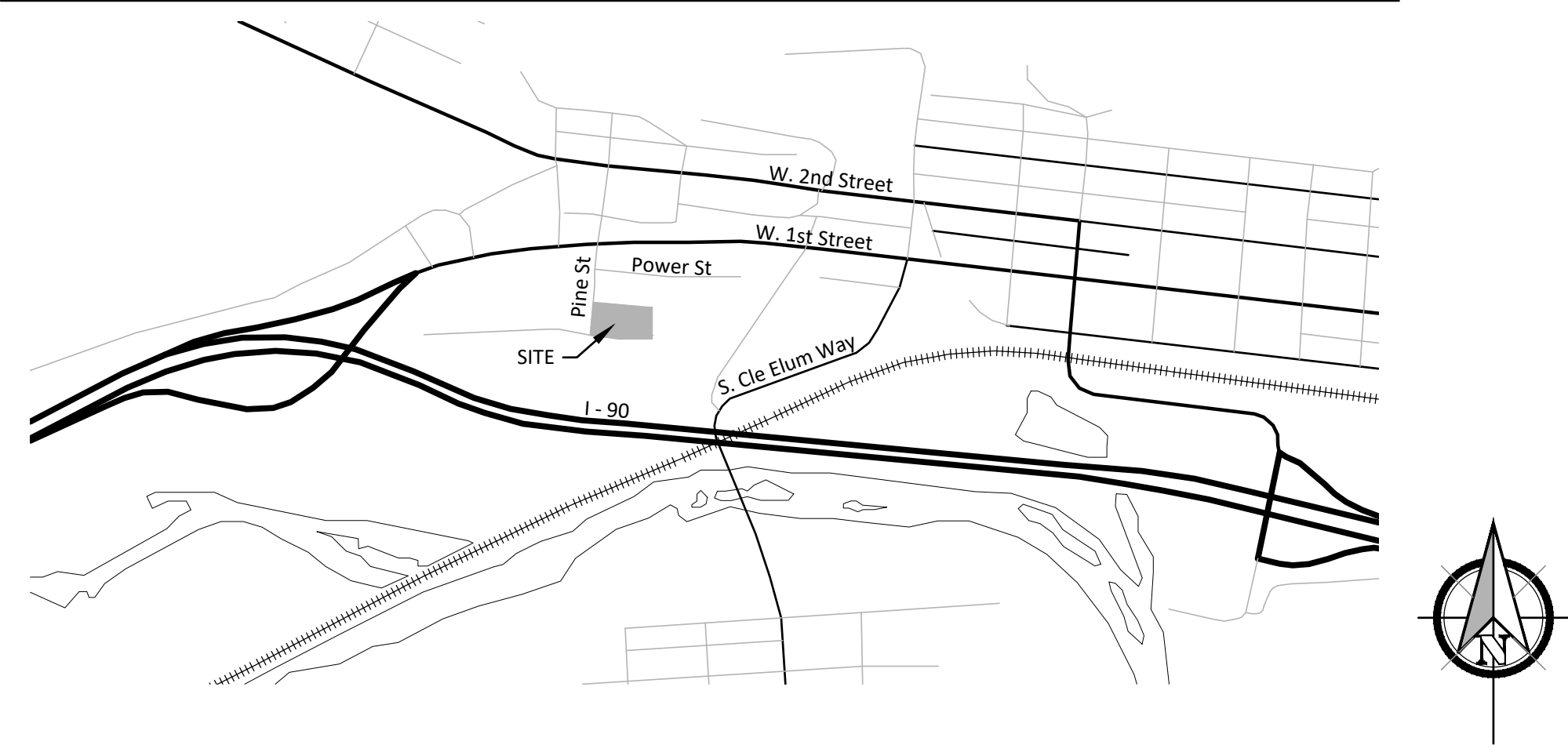
### GOVERNING AGENCIES

Cle Elum City Planning	(509) 674-2262
International Building Code	2015 Edition
International Fire Code	2015 Edition
International Mechanical Code	2015 Edition
Uniform Plumbing Code	2015 Edition
National Electrical Code	2017 Edition
Washington State Building Code, Chapter 51-50 WAC	2015 Edition
Nonresidential Energy Code	2015 Edition

### GENERAL NOTES

- All grid lines are to the centerline of structural columns.
- Exterior dimensions are to the face of stud or face of concrete. Interior dimensions are to grid-lines, centerline of studs or face of concrete/CMU, UNO.
- Verify all existing conditions before proceeding with construction.
- Confirm locations and arrangement of all existing and new medical gasses, computers and communication devices prior to disruption.

### VICINITY MAP



### SHEET INDEX

#### GENERAL:

- G0.1 Title Sheet
- G0.3 Code Plan
- G0.4 Site Code Plan
- G0.5 Exterior Perspectives

#### CIVIL:

- Overall Topographic Survey
- Enlarged Topographic Survey
- C3.0 Site Plan and Horizontal Control Plan
- C4.0 Grading and Drainage Plan
- C5.0 Utility Plan
- C6.0 Davis Street Improvements Plan and Profile

#### ARCHITECTURAL:

- A2.1 Floor Plan
- A4.1 Exterior Elevations
- A4.2 Exterior Elevations
- A5.1 Roof Plan

REVISION	DATE

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KDA ARCHITECTURE

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www.kdaarchitecture.com



Ambulance  
Garage

KCPH District 2

Cle Elum, WA 98922

DATE: 05/04/20  
SCALE: None  
DRAWN: RHM  
JOB: 201838

Title Sheet

SHEET:

G0.1

100% DESIGN DEVELOPMENT

CODE ANALYSIS

2015 International Building Code (IBC)

Occupancy: (IBC Section 302)

B Business (Offices)  
R-2 Residential Group (6 sleeping units)  
S-2 Low-hazard storage (parking garage, enclosed)  
*Note:* There are many small storage rooms throughout the facility, and per IBC 311.1.1 a room or space used for storage purposes that is less than 100 square feet in area and accessory to another occupancy shall be classified as that occupancy.

**Special Requirements (IBC Chapter 4)**  
420.2 Separation walls. Walls separating sleeping units in the same building, and walls separating sleeping units from other occupancies contiguous to them in the same building shall be constructed as fire partitions in accordance with Section 708.

420.5 Automatic Sprinkler system. Group R occupancies shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.8.

Residential automatic sprinklers shall be installed in accordance with Section 903.3.2:  
Residential Automatic Sprinklers are to be installed in the sleeping units of the residential occupancy.

Allowable Building Area & Height (IBC 504.3 & Table 503.4)

Type of Construction: Type VB

- Allowable Height:
- B Occupancy w/ S sprinkler = 60 feet
  - R Occupancy w/ S sprinkler = 60 feet
  - S Occupancy w/ S sprinkler = 60 feet

- Allowable Stories:
- B Occupancy w/ S sprinkler = 3 stories
  - R-2 Occupancy w/ S sprinkler = 3 stories
  - S-2 Occupancy w/ S sprinkler = 3 stories

- Basic Allowable Area (IBC Table 506.2):
- B Occupancy w/ S1 sprinkler = 36,000 SF
  - R-2 Occupancy w/ S1 sprinkler = 28,000 SF
  - S-2 Occupancy w/ S1 sprinkler = 54,000 SF

Actual Area

New First Floor = 8,200 SF  
This is less than the lowest minimal basic Allowable Area of 36,000 SF, so acceptable.

508.2 Accessory Occupancies. All accessory spaces are less than 10 percent of the floor area.

508.2.4 no separation is required between accessory occupancies and the main occupancy.  
Exception 2: R-2 sleeping units shall be separated from other sleeping units and from accessory occupancies contiguous to them in accordance with the requirement of Section 420 & 708.

**508.3 Nonseparated Occupancies**  
This building is utilizing nonseparated occupancies.  
Exception: 508.3.3 Separation, Exception 2: R-2 sleeping units shall be separated from other sleeping units, and other occupancies contiguous to them in accordance with Section 420.  
(420 redirects to Section 708, and 708.3 Exception 2 for a type VB building equipped with a NFPA 13 sprinkler systems.) Separation = ½ HR.

**IBC Table 509 Incidental Uses:**  
Laundry rooms are under 100 square feet, so this Section and table and associated requirements are not applicable.

Fire Resistive Rating Requirements (IBC Tables 601 & 602)

This is a Type VB building, so all building elements have a 0-HR rating requirement.  
All exterior walls are provided with a Fire Separation Distance equal to or greater than 30'-0".

**Fire Partitions (IBC Section 708)**  
As required in 420.2 Separation walls, walls separating sleeping units in the same building, and walls separating sleeping units from other occupancies contiguous to them in the same building shall be constructed as fire partitions in accordance with Section 708.  
Per 708.3 Exception 2. Sleeping unit separations in buildings of Type VB construction shall have a fire partition with a fire-resistance rating of not less than ½ hour in buildings equipped throughout with an automatic sprinkler system in accordance with IBC Section 903.3.1.1. (NFPA 13 vs NFPA 13R).

708.4 Continuity. Fire partitions shall extend from the foundation/floor slab below to the underside of the roof sheathing above, or to the fire-resistance-rated roof/ceiling assembly above, and shall be securely attached thereto.  
Exception 5: Attic of R-2 is more than 3,000 square feet, therefore will be subdivided into an area not exceeding 3,000 square feet. *(Subdivision occurs at the two walls separating sleeping units from adjacent non-sleeping unit areas.)*

Fire Sprinkler System (IBC Section 903)

903.2.10 Group S-2 enclosed parking garages. An automatic sprinkler system is being provided. Commercial motor vehicles are greater than 10,000 LBS, and the fire area exceeds 5,000 SF.

903.3.1.1 Automatic Sprinkler System that complies with NFPA 13 is provided Throughout.

Residential automatic sprinklers shall be installed in accordance with Section 903.3.2:  
Quick-Response or Residential Automatic Sprinklers are to be installed in the sleeping units of the residential occupancy.

Fire Alarm System and Smoke Detection System (IBC Section 907)

Automatic Fire Alarm System is not required.  
*(Confirm if Owner wants to voluntarily provide Automatic Fire Alarm System.)*  
Automatic Smoke Alarm System is required and is to be installed in R-2 occupancy in compliance with per 907.2.11.2: On the ceiling or wall outside of each separate sleeping area in the immediate bedrooms. In each room used for sleeping purposes.

LEGEND

- 1/2 Hour Fire Barrier, 20 Min Openings  
Put Wall  
Type  
Legend  
Component Here  
Egress Direction  
Occupants/Req. Opening  
Fire Extinguisher Locations  
Number of Occupants Per Area  
Occupant Load Factor  
Maximum Travel Distance  
75' Fire Extinguisher Travel Distance

Occupant Loads (IBC Table 1004.1.2)

Business Areas 1,435 SF / OLF100 gross = 15 occupants  
Parking Garage +/- 4,110 SF / OLF 200 gross = 21 occupants  
Residential +/- 3,035 SF / OLF 200 gross = 16 occupants  
*(Exercise Room is include in Residential)*  
Total Calculated Occupant Load (11,200SF) = 52 occupants

Required Exits or Exit Access Doorways from Spaces (IBC Section 1006)

B - Business Areas = 15 occupants = 1 exit required  
Max common path of egress travel distance = 100 feet  
S - Parking Garage = 21 occupants = 1 exit required  
Max common path of egress travel distance = 100 feet  
R-2 Residential = 16 occupants = 2 exits required  
Max common path of egress travel distance = 125 feet.

Stairways (IBC Section 1009)

Not applicable. No stairways.

Maximum Travel Distance to Exits (IBC Section 1016)

B - Business Areas = 300 feet.  
S - Parking Garage = 400 feet.  
R-2 Residential = 250 feet.

Plumbing Fixtures (IBC Section 2902)

B - Business Areas = 15 occupants  
Water closets: Male @ 8/25 = .32  
Female @ 8/25 = .32  
Lavatories: Male @ 8/40 = .20  
Female @ 8/40 = .20  
S - Parking Garage = 21 occupants  
Water closets: Male @ 11/100 = .11  
Female @ 11/100 = .11  
Lavatories: Male @ 11/100 = .11  
Female @ 11/100 = .11  
R-2 Residential = 16 occupants  
Water closets: Male @ 8/10 = .8  
Female @ 8/10 = .8  
Lavatories: Male @ 8/10 = .8  
Female @ 8/10 = .8  
Bathrooms or showers: @ 16/8 = 2

REVISION	DATE

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Ambulance  
Garage

KCPH District 2

05/04/20

DATE: 05/04/20

SCALE: As indicated

DRAWN: Author

JOB: 201838

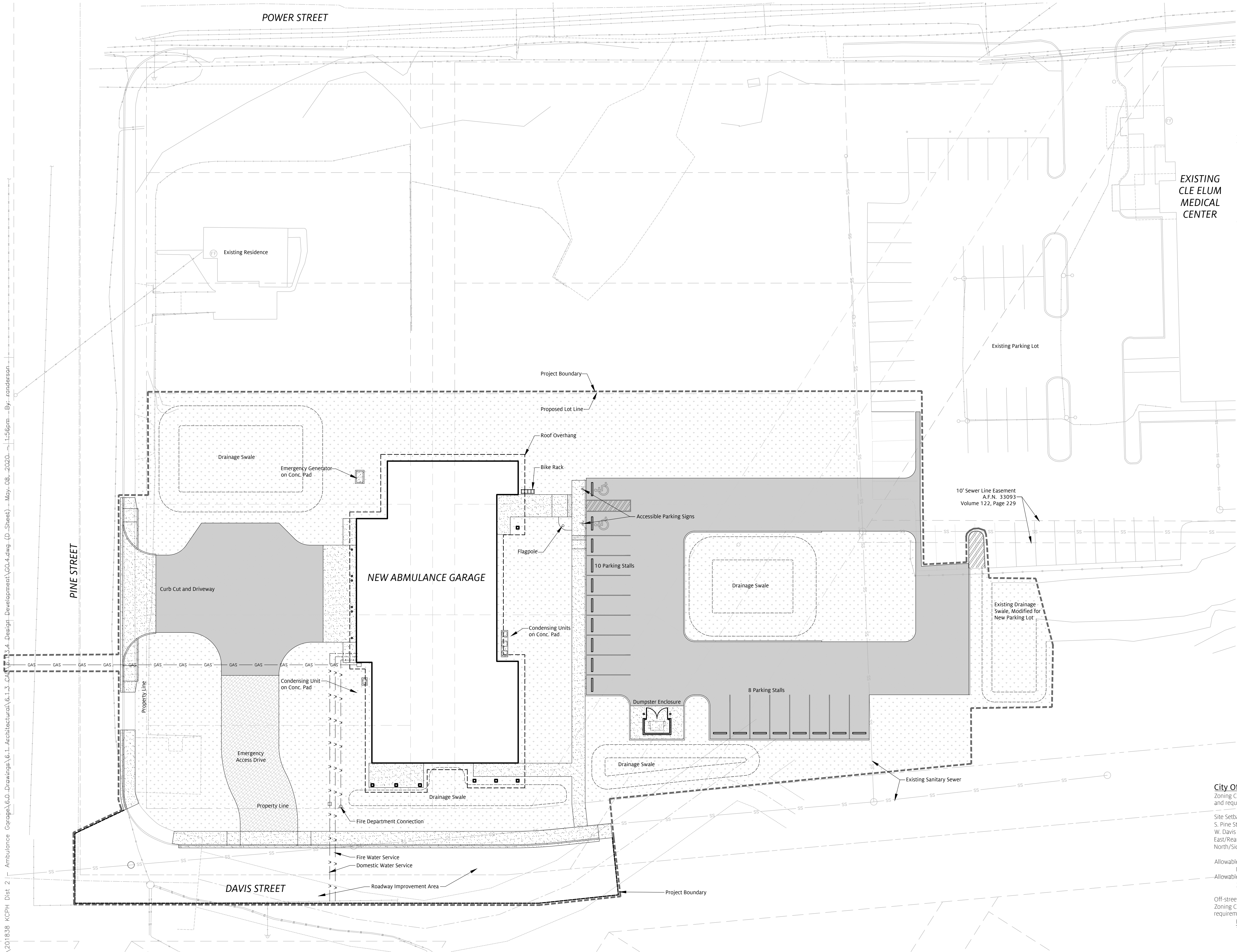
Code Plans

SHEET:

G0.3



V:\Projects\2018\201838 KCPH Dist 2\Ambulance Garage\6.0 Drawings\6.1 Architecture\GO.4.dwg (D\_Sheet) May\_08\_2020 1:56pm By: rconderson



### SHEET NOTES

- See Civil drawings for paving, grading, and utility details.

### LEGEND

- Asphalt Cement Concrete Paving
- Portland Cement Concrete Paving
- "Grasscrete" Surfacing
- Landscaping

EXISTING  
CLE ELUM  
MEDICAL  
CENTER

### City Of Cle Elum Zoning Code

Zoning Code is under revision. Confirmation of zoning designations and requirements to be confirmed with City of Cle Elum.

Site Setbacks:  
S. Pine Street: 0'  
W. Davis Street: 0'  
East/Rear Yard: 0'  
North/Side Yard: 0'

Allowable Stories Above Grade:  
Not Listed. (Per IBC: 3 stories)  
Allowable Building Height:  
36'-0" (Per IBC: 60'-0")

Off-street Parking Calculations:  
Zoning Code is under revision. Confirmation of off-street parking requirements to be confirmed with City of Cle Elum.  
Residential 12 Spaces  
Total Parking Required 12 Spaces

REVISION	DATE

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AMBULANCE  
GARAGE

KCPH District 2

505 Power Street  
Cle Elum, WA 98922

DATE: 05/04/20

SCALE: 1" = 20'

DRAWN: RA

JOB: 201838

Site Code Plan

SHEET:

G0.4

100% DESIGN DEVELOPMENT



REVISION	DATE

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Ambulance  
Garage

KCPH District 2

505 Power Street  
Cle Elum, WA 98922

DATE: 05/04/20  
SCALE:  
DRAWN: Author  
JOB: 201838

Exterior  
Perspectives

SHEET:  
G0.5





KITTITAS VALLEY FAMILY MEDICINE CLE ELUM  
A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 27, T. 20 N., R. 15 E., W.M.  
KITTITAS COUNTY, STATE OF WASHINGTON



DATUM:

1. BEARINGS ARE REFERENCED TO THE WASHINGTON STATE PLANE COORDINATE SYSTEM (SOUTH ZONE), N.A.D. 83 (11). ALL DISTANCES SHOWN HEREON ARE GROUND SCALE BASED ON A COMBINED SCALE FACTOR (CSF) OF 0.9998781, MULTIPLY CSF BY GROUND DISTANCE TO OBTAIN GRID DISTANCES.

2. THE VERTICAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88) BASED ON AN OFFSITE NG'S SURVEY MARK, DESIGNATED "HOSPITAL RESET" (PID: SK1037). ELEVATION = 2007.46'

CONTOUR INTERVAL: MINOR = 1.00 FT., MAJOR = 5.00 FT.

NOTES:

- THE PURPOSE OF THIS SURVEY IS TO IDENTIFY THE BOUNDARY LINES, BUILDING AND THE TOPOGRAPHY OF THE SUBJECT PROPERTY.
- THIS SURVEY WAS PERFORMED USING TRIMBLE R8 MODEL 2 GNSS RECEIVERS AND A TRIMBLE S7, 3" TOTAL STATION WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS STANDARDS PER WAC 332-130-090.
- THIS SURVEY WAS PERFORMED USING INFORMATION CONTAINED IN TITLE REPORT POLICY NO. 72156-463036008 OF CHICAGO TITLE INSURANCE COMPANY, ISSUED JUNE 7, 2018 AND IS SUBJECT TO THE LIMITATIONS OF THAT CERTIFICATE.
- FOR CORNER DOCUMENTATION AND ADDITIONAL SURVEY INFORMATION, SEE THE FOLLOWING PLATS & SURVEYS OF RECORD AND THE SURVEYS REFERENCED THEREON:
  - BOOK 3 OF PLATS PAGE 3
  - BOOK 16 OF SURVEYS, PAGE 173, AFN: 532909
- THE FIELD WORK FOR THIS SURVEY WAS COMPLETED ON JUNE 28, 2018.

LEGAL DESCRIPTION:

ALL OF BLOCK 5, AMENDED PLAT OF ROSLYN ADDITION TO THE CITY OF CLE ELUM, KITTITAS COUNTY, WASHINGTON STATE, PER PLAT RECORDED IN BOOK 3, PAGE 3, OF KITTITAS COUNTY BOOK OF PLATS;

LOTS 1 THROUGH 13 INCLUSIVE OF BLOCK 9, ROSLYN 2ND ADDITION TO CLE ELUM, KITTITAS COUNTY, WASHINGTON STATE, PER PLAT RECORDED IN BOOK 3, PAGE 3, OF KITTITAS COUNTY BOOK OF PLATS;

A PORTION OF VACATED ALLEY, AS VACATED BY THE CITY OF CLE ELUM ORDINANCE NO. 1370, RECORDED AUGUST 17, 2012, UNDER AUDITOR'S FILE NO. 201208170014;

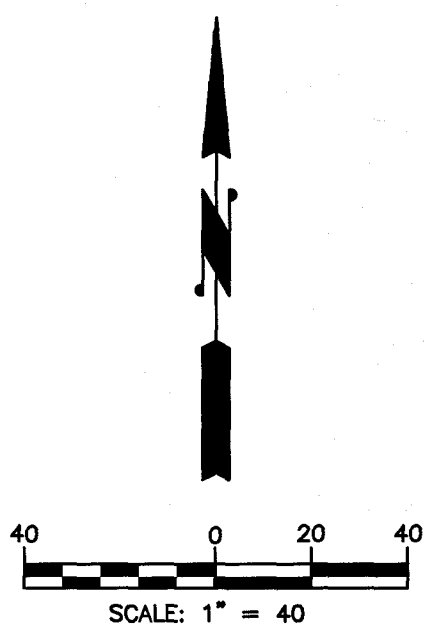
THE EASTERLY ONE-HALF OF THAT PART OF WEST YAKIMA AVENUE BOUNDED ON THE WEST BY BLOCK 9 OF ROSLYN 2ND ADDITION TO CLE ELUM, ON THE EAST BY BLOCK 5 OF ROSLYN ADDITION TO THE CITY OF CLE ELUM, ON THE NORTH BY POWER STREET, AND ON THE SOUTH BY DAVIS STREET, AS VACATED BY THE CITY OF CLE ELUM ORDINANCE NO. 600, ADOPTED NOVEMBER 8, 1965.

PARCEL INFORMATION:

PARCEL NOS.: 474135, 484135, 074035, 504135, & 064035

ADDRESS:

505 POWER STREET  
CLE ELUM, WA 98922

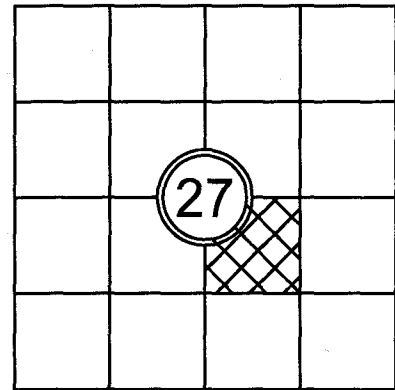


MONUMENT LEGEND

- FOUND AXLE
- FOUND IRON ROD & CAP
- IR FOUND IRON ROD, NO CAP
- IP FOUND IRON PIPE

A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. HOWEVER, ENCOMPASS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

INDEX LOCATION  
SEC. 27 T. 20N R. 15E W.M.



Encompass  
ENGINEERING & SURVEYING

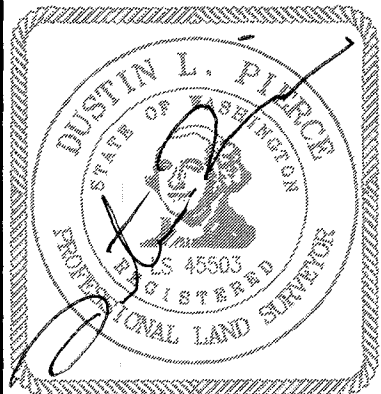
Western Washington Division  
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250 • Fax: (425) 391-3055  
407 Swilwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

JOB NO. 18092  
DATE 07/16/2018  
SCALE 1" = 40'  
DESIGNED  
DRAWN EFG  
CHECKED DLP  
APPROVED DLP

SHEET 1 OF 3

REVISIONS

DESCRIPTION	BY	DATE

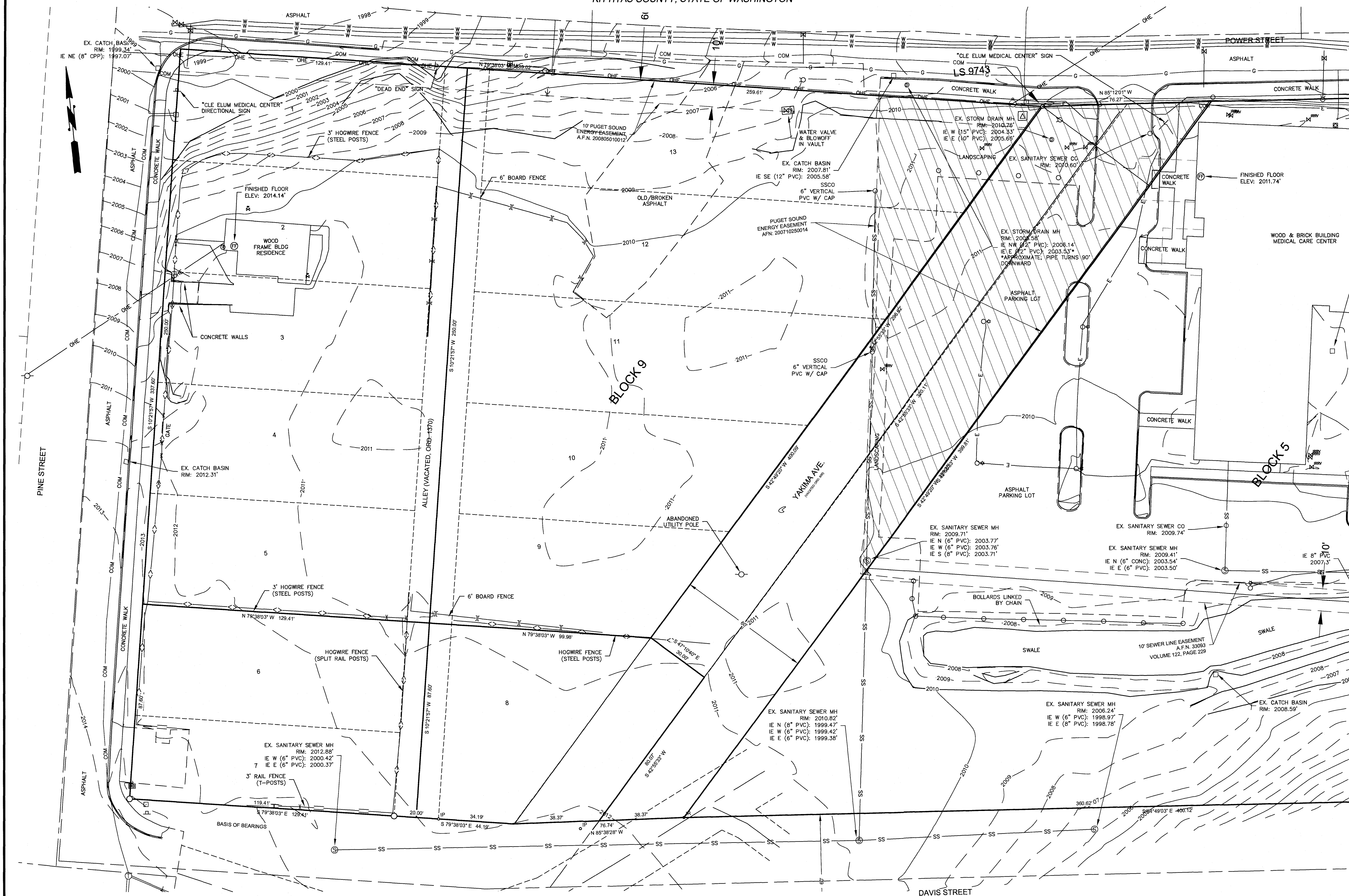


KITTITAS COUNTY HOSPITAL DISTRICT #2  
BOUNDARY AND TOPOGRAPHIC SURVEY

# KITTITAS VALLEY FAMILY MEDICINE CLE ELUM

A PORTION OF THE NW 1/4 OF THE SE 1/4 OF SECTION 27, T. 20 N., R. 15 E., W.M.  
KITTITAS COUNTY, STATE OF WASHINGTON

SCALE: 1" = 20'



REVISIONS

DATE

DESCRIPTION

7/17/2018

KITTITAS COUNTY HOSPITAL DISTRICT #2

BOUNDARY AND TOPOGRAPHIC SURVEY

Encompass

ENGINEERING & SURVEYING

165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250 • Fax: (425) 391-3055

407 Stillwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433 • Fax: (509) 674-7419

JOB NO. 18092

DATE 07/16/2018

SCALE 1" = 20'

DESIGNED EFG

CHECKED DLP

APPROVED DLP

SHEET 2 OF 3





REVISION	DATE

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Development

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Ambulance  
Garage

KCPH District 2

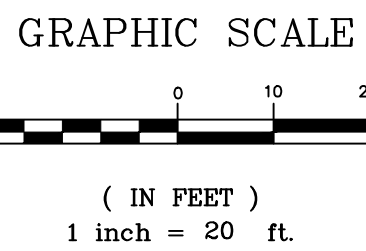
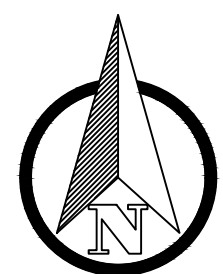
505 Power Street  
Cle Elum, WA 98922

DATE: 5/4/2020  
SCALE: As Indicated  
DRAWN: DH  
JOB: 201838

Site Layout  
& Horizontal  
Control Plan

SHEET:

C3.0

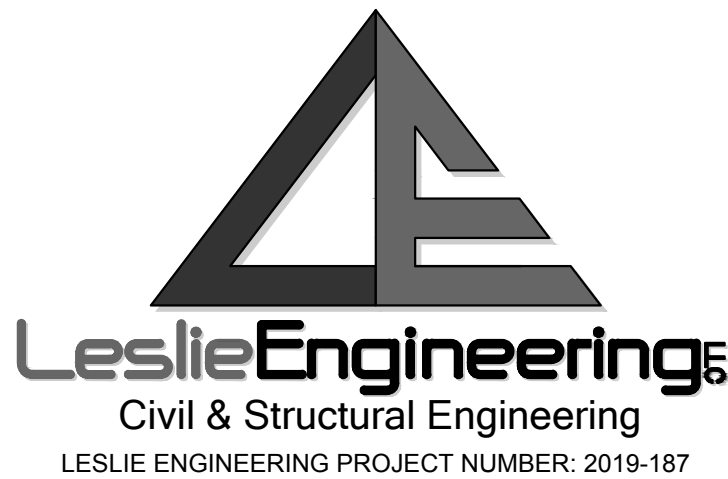


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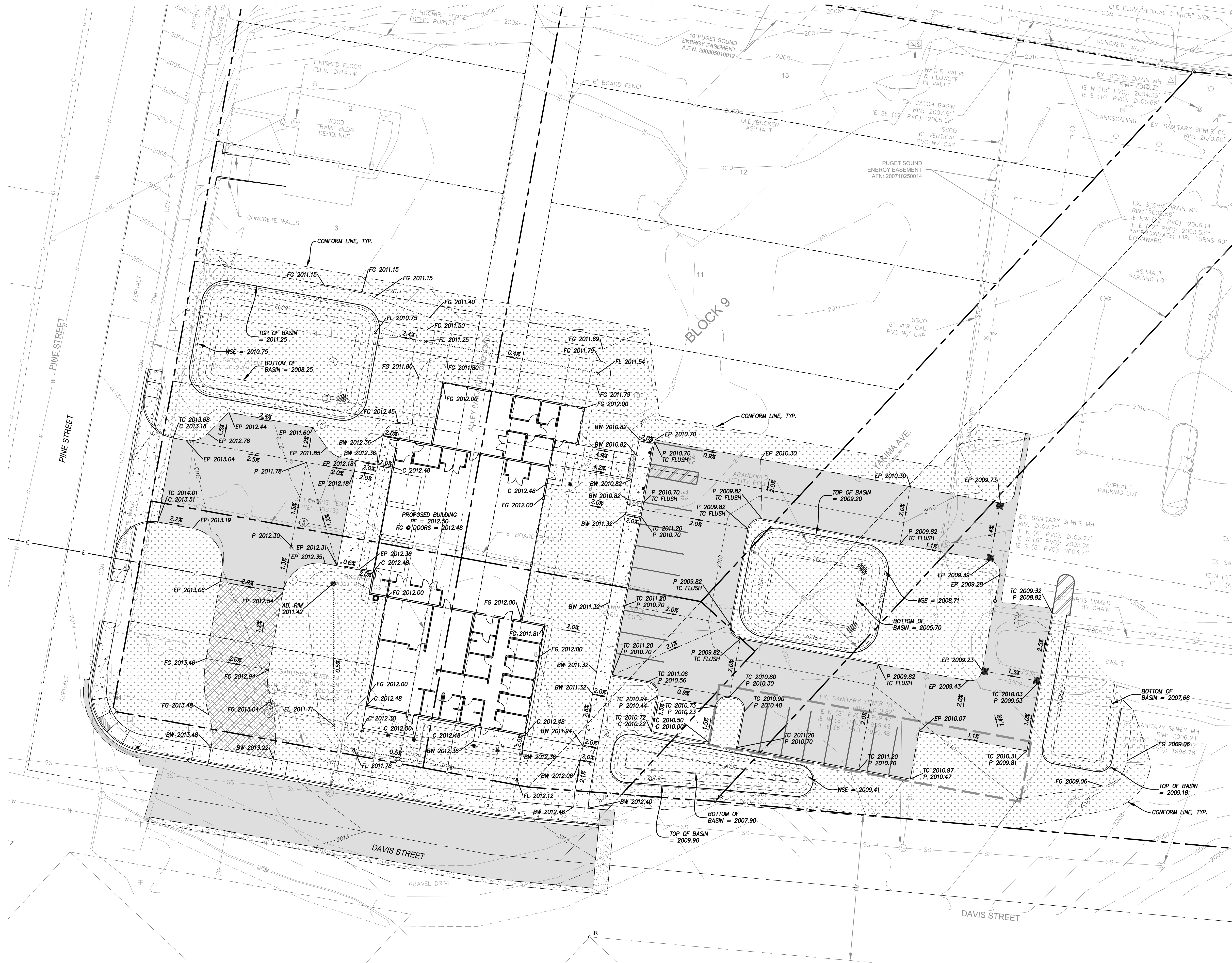
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EARTHWORK NOTES:

IMPORT = 0± CY  
EXPORT = 0± CY  
FILL = 1,113± C.Y.  
CUT = 1,438± C.Y.  
(IF ZERO, INDICATE 0)

1. THE EARTHWORK QUANTITIES SHOWN ARE PROVIDED FOR THE PERMITTING AND PLANNING PURPOSES ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CARRY OUT THE CUT/FILL, IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES AS SHOWN ON THE PLANS. REGARDLESS OF THE ESTIMATED EARTHWORK QUANTITIES AS INDICATED. SIGNIFICANT REVISIONS TO THE QUANTITIES NEEDS REVIEW BY THE OWNER AND/OR ENGINEER.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE ALL MATERIAL AND LABOR REQUIRED WITHIN THE BID PRICE, FOR EARTHWORK CONSTRUCTION, TO CARRY OUT THE CUT/FILL AND/OR IMPORT/EXPORT AS NECESSARY TO MEET THE DESIGN GRADES SHOWN ON THE PLANS. CONTRACTOR IS TO DELIVER TO OWNER THE PROJECT IN A COMPLETE AND OPERATIONAL MANNER. EARTHWORK QUANTITIES SHOWN ON THE PLANS OR REPRESENTED BY THE ENGINEER ARE APPROXIMATE AND ARE FOR PERMITTING AND PLANNING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ANY INVESTIGATION OR STUDIES THAT ARE REQUIRED BY THE CONTRACTOR TO SATISFY THIS REQUIREMENT. NO ADDITIONAL COMPENSATION SHALL BE PAID FOR SAID CUT/FILL AND/OR IMPORT/EXPORT.

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KCPH District 2

505 Power Street  
Cle Elum, WA 98922

DATE: 5/4/2020  
SCALE: As Indicated  
DRAWN: DH  
JOB: 201838

Grading &  
Drainage Plan

SHEET:

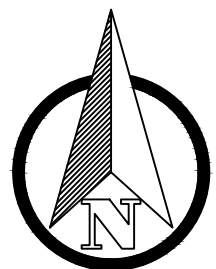
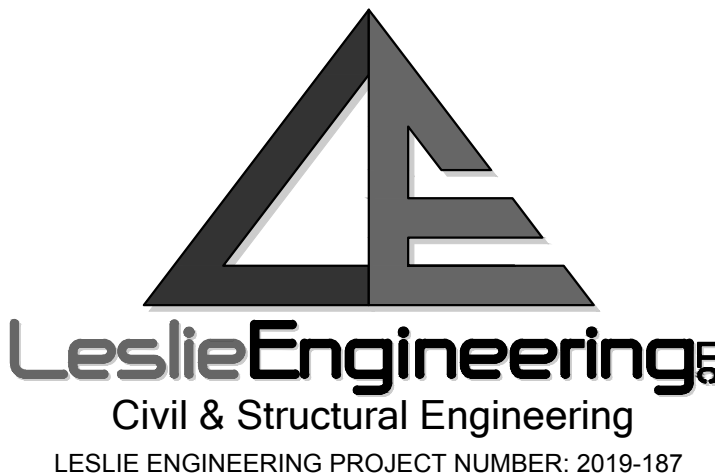
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GRAPHIC SCALE  
20' 0 10 20'  
( IN FEET )  
1 inch = 20 ft.





SEWER KEY NOTES:

- 1 P.O.C. TO BLDG 4" SS SERVICE  
4"E=2007.50  
SEE PLUMBING DWGS FOR CONTINUATION
- 2 13 LF~4" SS SERVICE @ S=5.0%
- 3 SSCO, RIM  
4"E=2006.85
- 4 13 LF~4" SS SERVICE @ S=5.0% MIN.

WATER KEY NOTES:

- 1 PROPOSED WATER METER BOX PER CITY OF CLE ELUM STANDARDS. WATER METER SHALL BE PROVIDED AND INSTALLED BY CITY OF CLE ELUM.
- 2 POINT OF CONNECTION TO PROPOSED BUILDING PLUMBING (DOMESTIC AND FIRE WATER AND FDC SERVICE) AT PROPOSED MECHANICAL ROOM. SEE PLUMBING/MECHANICAL PLANS FOR CONTINUATION.
- 3 PROVIDE AND INSTALL:  
1-6" 90° BEND (M&M/J) W/RESTRAINED JOINTS
- 4 6 LF~6" PVC C900 DR-18 FIRE WATER SERVICE W/RESTRAINED JOINTS
- 5 3 LF~4" PVC C900 DR-18 FDC SERVICE W/RESTRAINED JOINTS
- 6 PROVIDE AND INSTALL:  
1-4" 90° BEND (M&M/J) W/RESTRAINED JOINTS
- 7 65 LF~4" PVC C900 DR-18 FDC SERVICE W/RESTRAINED JOINTS

REVISION	DATE

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Ambulance  
Garage

KCPH District 2

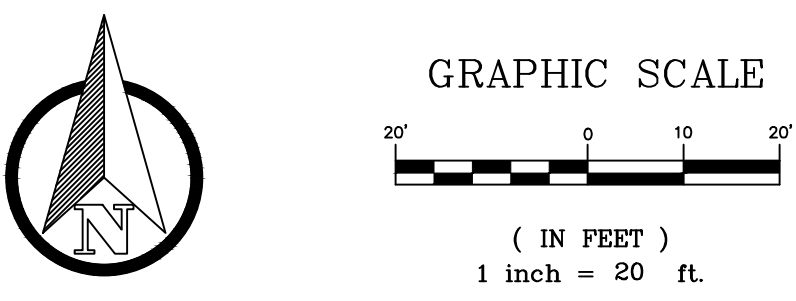
505 Power Street  
Cle Elum, WA 98922

DATE: 5/4/2020  
SCALE: As Indicated  
DRAWN: DH  
JOB: 201838

Utility Plan

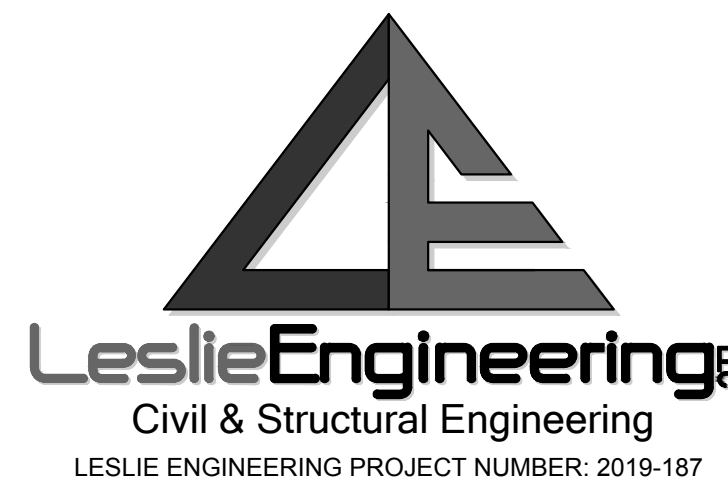
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C5.0

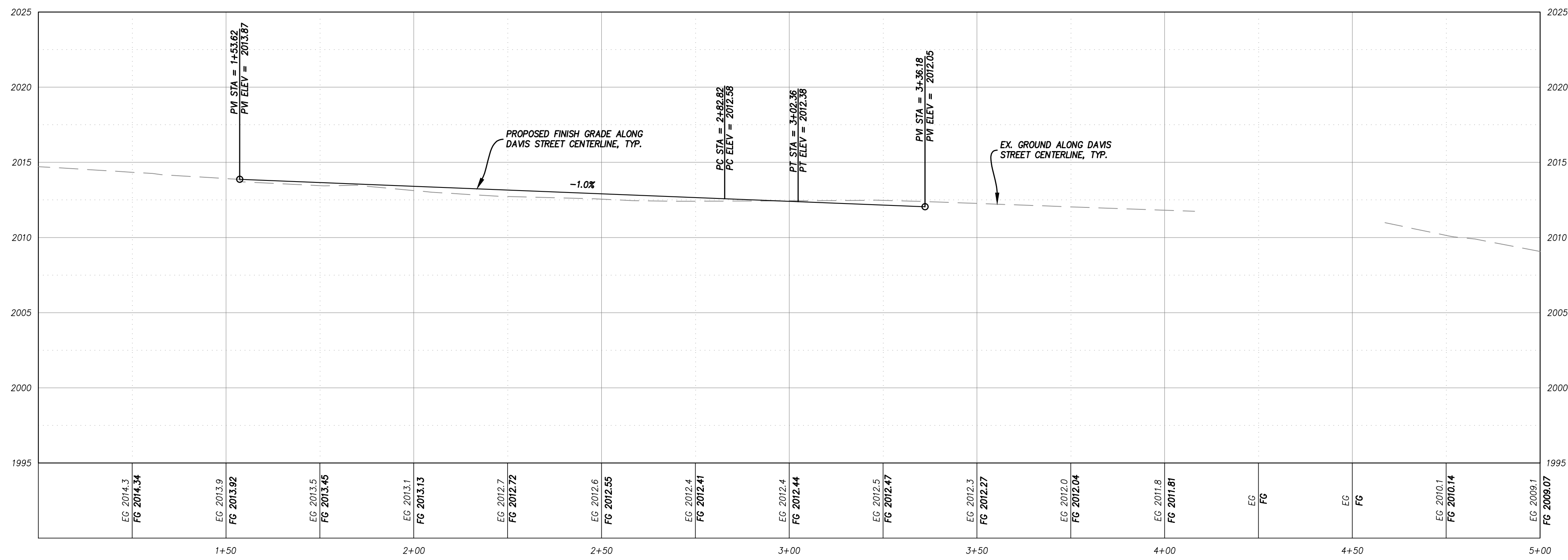
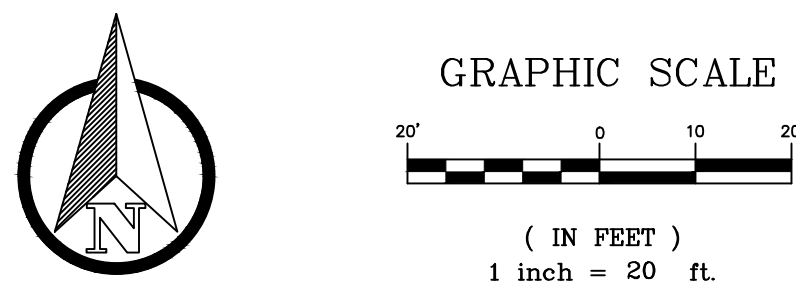
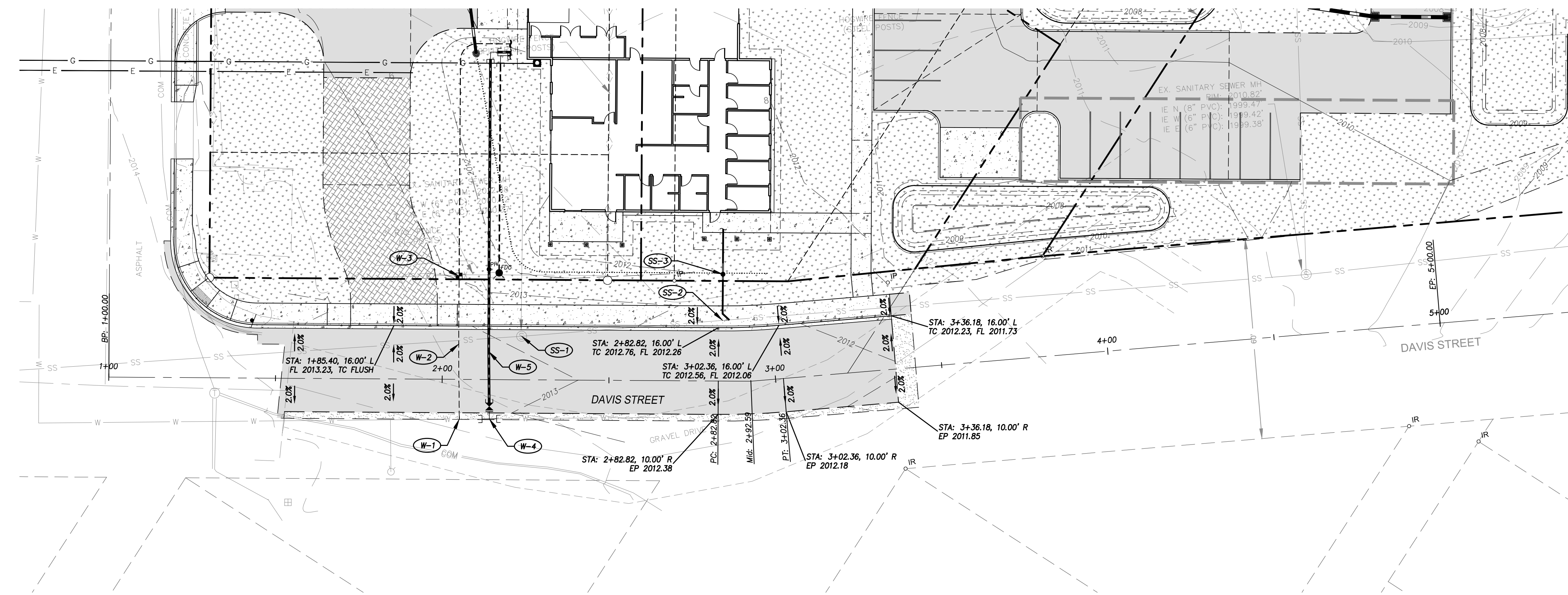


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DAVIS STREET PROFILE  
SCALE: 1" = 20'; 5"V

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SEWER KEY NOTES:

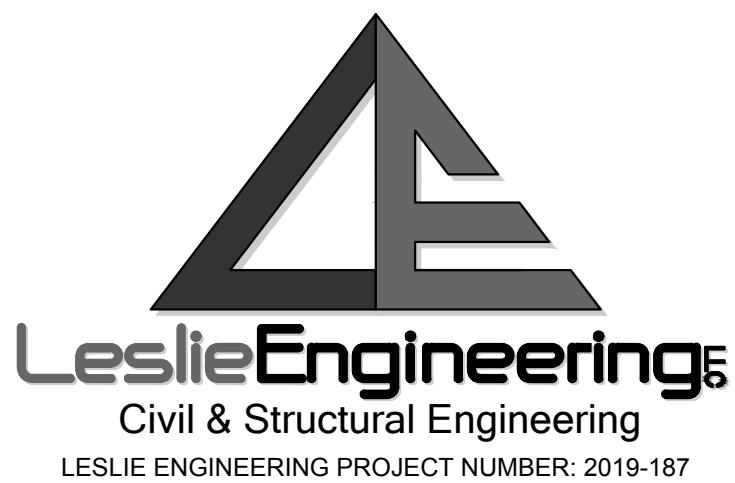
- SS-1 EXISTING SANITARY SEWER MANHOLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. ADJUST EXISTING MANHOLE COVER TO NEW GRADE.
- SS-2 STA: WYE CONNECTION TO EX. 6" SS MAIN PER CITY STD DETAIL S-7 4" E=2000.30 EX. 6" E=2000.13±
- SS-3 13 LF~4" SS SERVICE @ S=5.0% MIN.

WATER KEY NOTES:

- W-1 STA: PROPOSED 1" DOMESTIC WATER SERVICE TAP TO EXISTING 8" WATERMAIN PER CITY STD DETAIL W-6.
- W-2 43 LF~1" COPPER TUBING TYPE K DOMESTIC WATER SERVICE
- W-3 PROVIDE AND INSTALL WATER METER BOX PER CITY STD DETAIL W-6 AND CITY OF CLE ELUM STANDARDS. CITY SHALL PROVIDE AND INSTALL THE METER.
- W-4 STA: PROPOSED 6" FIRE WATER SERVICE HOT TAP TO EXISTING 8" WATERMAIN WITH: 1-STAINLESS STEEL TAPPING SLEEVE, ROMAC SST OR APPROVED EQUIVALENT, W/DUCTILE IRON FLANGED OUTLET 1-6" TAPPING VALVE (FLXMM) W/RESTRAINED JOINTS
- W-5 45 LF~6" PVC C900 DR-18 FIRE WATER SERVICE



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DATE: 5/4/2020  
SCALE: As Indicated  
DRAWN: DH  
JOB: 201838

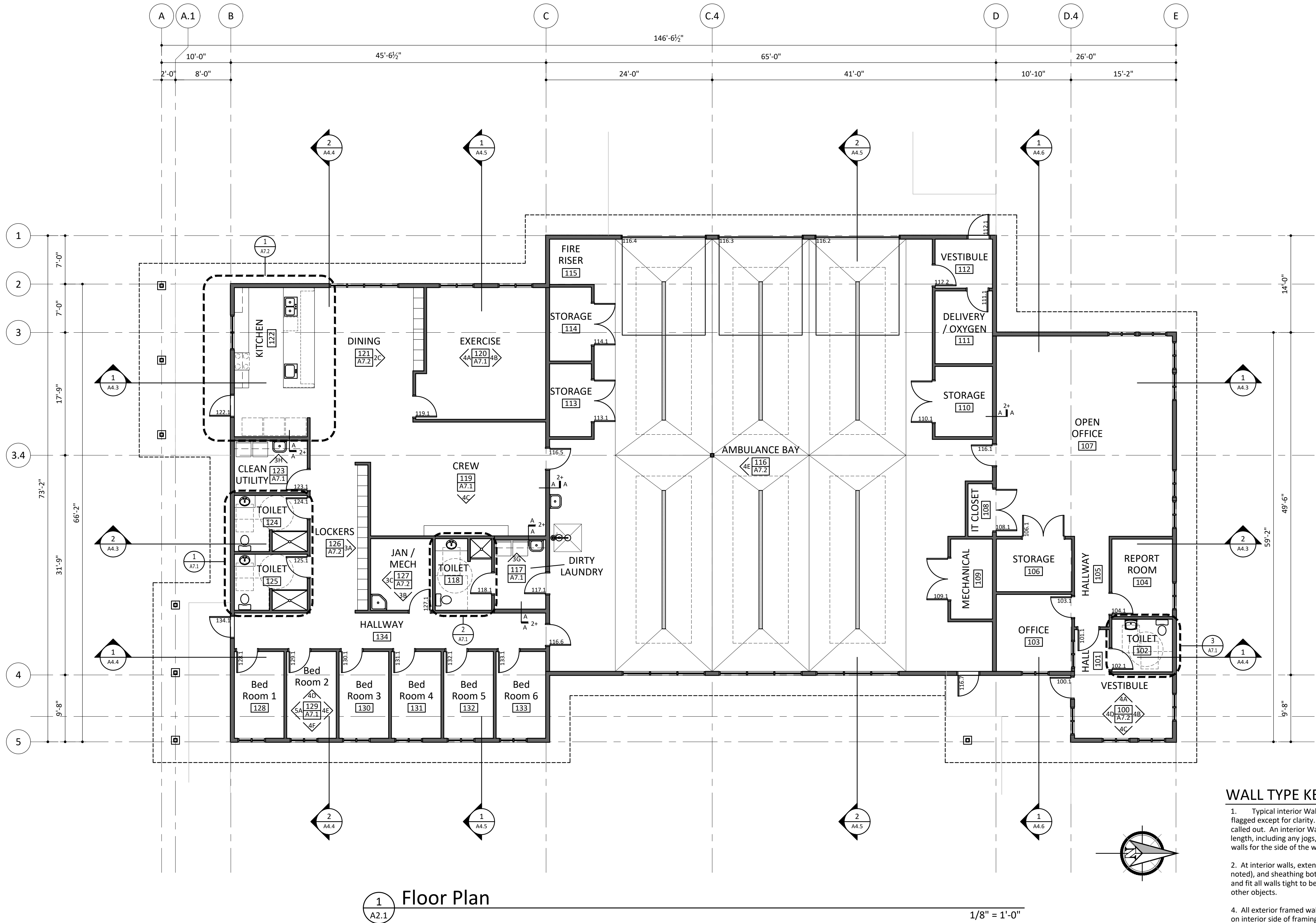
Davis St.  
Improvements  
Plan & Profile

SHEET:

C6.0

LESLIE ENGINEERING PROJECT NUMBER: 2019-187

D:\Projects\201908 KDA Ambulance Garage\6.0 Drawings\6.1 Architectural\6.1.3 CAD\6.1.3.4 Design Development\A201.dwg (D Sheet) May 04, 2020 - 9:56pm By: rynn



WALL TYPE KEY

- Typical interior Wall Type "A-1"-A" is not flagged except for clarity. All non-typical walls are called out. An interior Wall Type continues the full length, including any jogs, angles, recesses, or stub walls for the side of the wall flagged.
- At interior walls, extend studs, insulation (where noted), and sheathing bottom of roof trusses. Cut and fit all walls tight to beams, cuts, pipes, and other objects.
- At exterior walls, extend studs, insulation (where noted), and sheathing bottom of roof trusses. Cut and fit all walls tight to beams, cuts, pipes, and other objects.
- All exterior framed walls to receive vapor barrier on interior side of framing.
- At walls with insulation, continue insulation full height of wall, UNO.
- All stud framing and furring 16" O.C. UNO.

WALL TYPE KEY

- Symbol Indicates Fill (No Symbol= No Fill)
- Number Indicates Substrate
- Letters Indicate Sheathing For Each Side of Wall
- (E) Existing

FILL MATERIAL (INSULATION)

- 3/2" Acoustical Batt Insulation
- R-21 Thermal Batt Insulation

INTERIOR WALL SUBSTRATES (FRAMING)

- 2x4 Wood Studs
- 2x6 Wood Studs

INTERIOR WALL FINISHES

- 1/2" GWB

EXTERIOR WALL TYPES

Noted from exterior to interior with interior wall finish noted above.

SHEET NOTES

REVISION	DATE

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Cle Elum, WA 98922

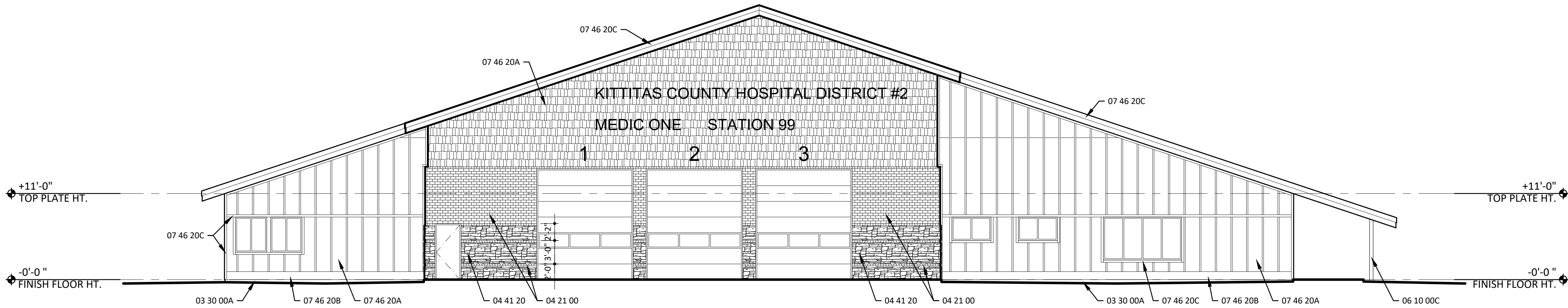
DATE: 05/04/20  
SCALE: 1/8" = 1'-0"  
DRAWN: RHM  
JOB: 201838

Floor Plan

SHEET:

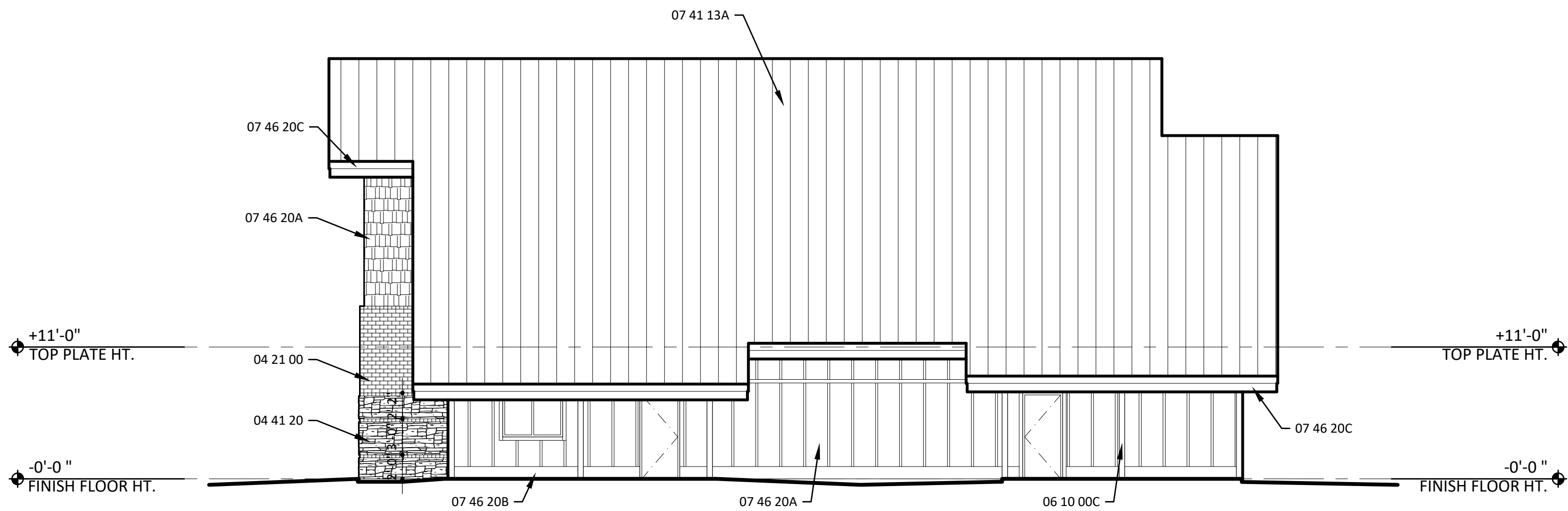
A2.1

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1 West Elevation  
A4.1

1/8" = 1'-0"



2 South Elevation  
A4.1

1/8" = 1'-0"

## MATERIAL KEYNOTES

- 03 30 00 Cast-In-Place Concrete  
A CIP Concrete
- 04 21 00 Clay Unit Masonry
- 04 41 20 Field Stone & River Rock
- 05 12 00 Structural Steel Framing  
A Structural Shapes
- 06 10 00 Rough Carpentry  
C Dimensional Lumber
- 07 41 13 Standing Seam Metal Roofing  
A Roofing  
B Vent  
C Trim
- 07 46 20 Fiber Cement Siding  
A Siding  
B Base Skirt Board  
C Trim
- 07 62 00 Sheet Metal Flashing and Trim  
A Misc. Flashing  
D Gutter / Downspout
- 23 00 00 Refer to HVAC

## SHEET KEYNOTES

## SHEET NOTES

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Ambulance  
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Cle Elum, WA 98922

DATE: 05/04/20  
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JOB: 201838

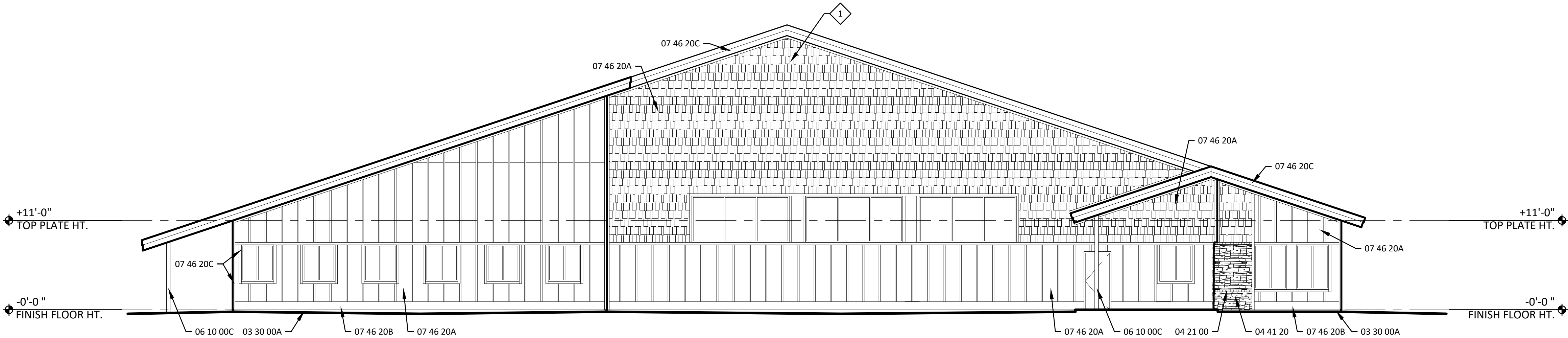
Exterior  
Elevations

SHEET:

A4.1

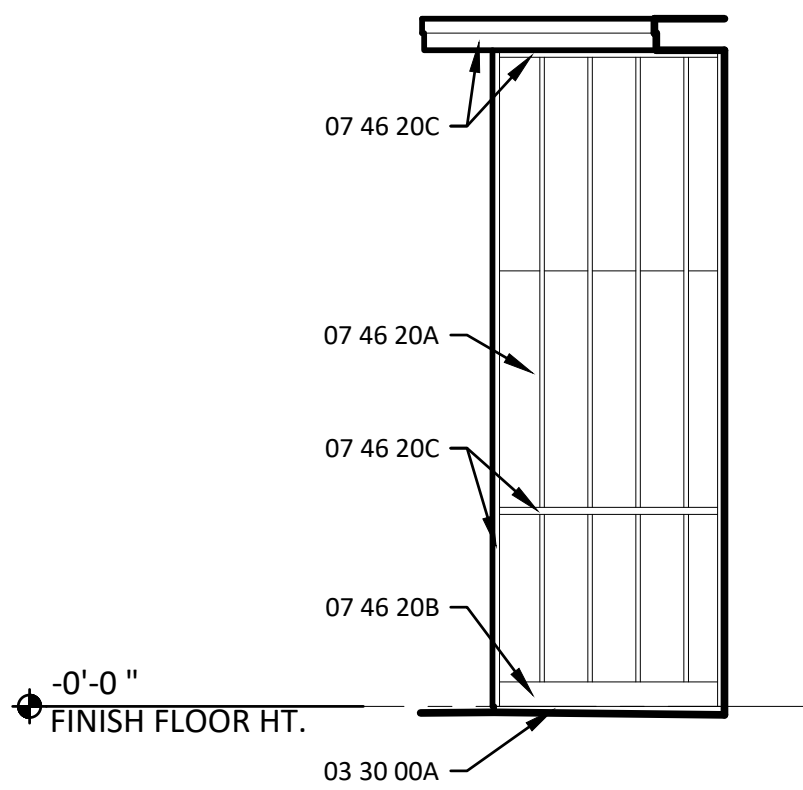


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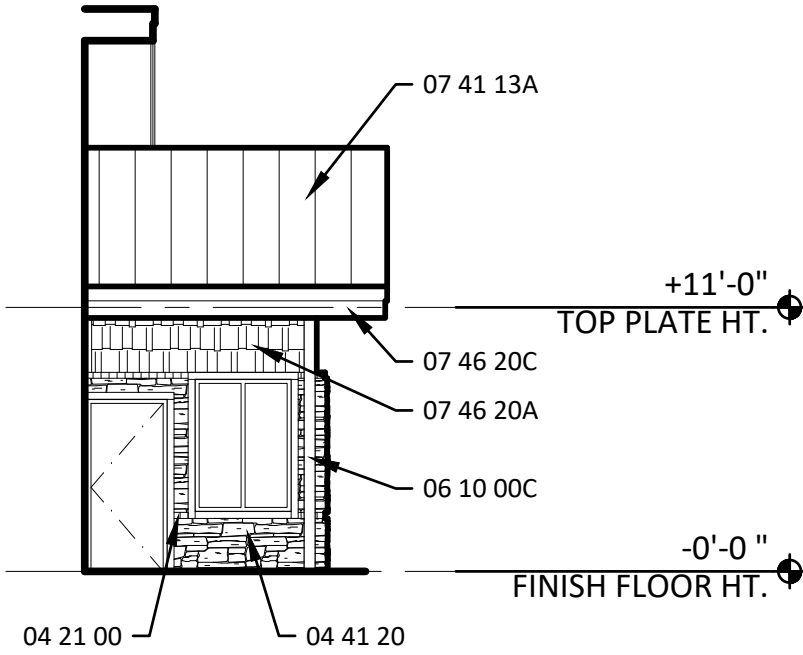
1 East Elevation  
A4.2

1/8" = 1'-0"



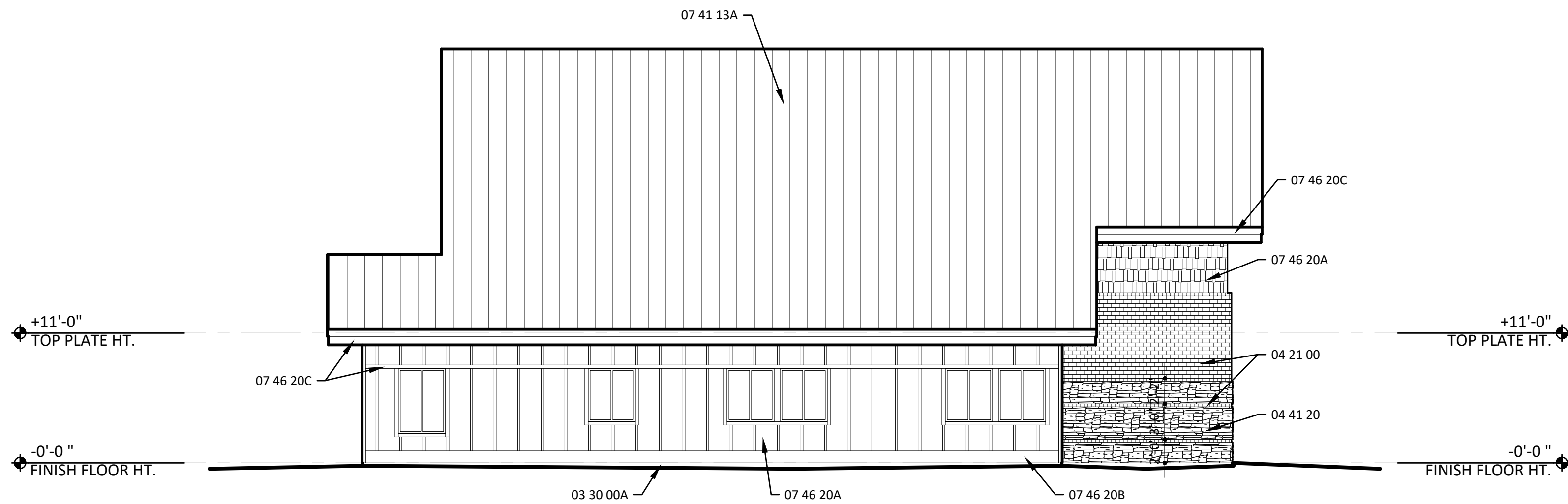
4 North Elevation  
A4.2

1/8" = 1'-0"



3 South Elevation  
A4.2

1/8" = 1'-0"



2 North Elevation  
A4.2

1/8" = 1'-0"

## MATERIAL KEYNOTES

- 03 30 00 Cast-In-Place Concrete  
A CIP Concrete
- 04 21 00 Clay Unit Masonry
- 04 41 20 Field Stone & River Rock
- 05 12 00 Structural Steel Framing  
A Structural Shapes
- 06 10 00 Rough Carpentry  
C Dimensional Lumber
- 07 41 13 Standing Seam Metal Roofing  
A Roofing  
B Vent  
C Trim
- 07 46 20 Fiber Cement Siding  
A Siding  
B Base Skirt Board  
C Trim
- 07 62 00 Sheet Metal Flashing and Trim  
A Misc. Flashing  
D Gutter / Downspout
- 23 00 00 Refer to HVAC

## SHEET KEYNOTES

- 1 Radio antenna this area, contractor to provide blocking & conduit to IT closet. Contractor to coordinate with Owner for exact location & blocking requirements.

REVISION	DATE

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Cle Elum, WA 98922

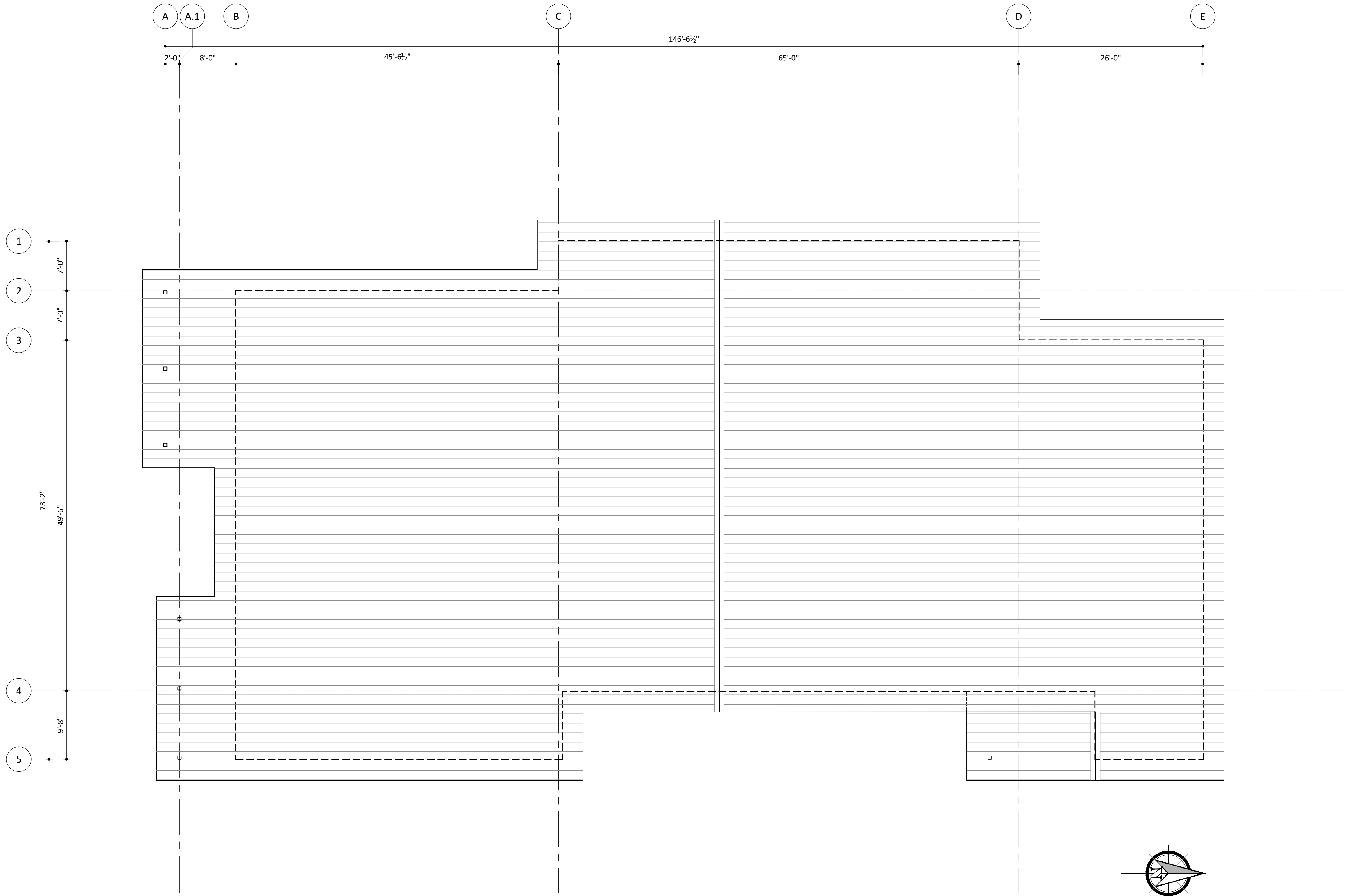
DATE: 05/04/20  
SCALE: As Noted  
DRAWN: RHM  
JOB: 201838

Exterior  
Elevations

SHEET:

A4.2

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1  
A5.1

Roof Plan

1/8" = 1'-0"

MATERIAL KEYNOTES

SHEET KEYNOTES

SHEET NOTES

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DATE: 05/04/20  
SCALE: 1/8" = 1'-0"  
DRAWN: RHM  
JOB: 201838

Roof Plan

SHEET:

A5.1

## **EXHIBIT IV. INTERIM GRADING AUTHORIZATION**





*City of Cle Elum*  
119 West First Street  
Cle Elum, WA 98922



Phone: (509) 674-2262  
Fax: (509) 674-4097  
[www.cityofcleelum.com](http://www.cityofcleelum.com)

**Hospital District #2 Ambulance Garage  
Interim Work Authorization  
8/27/2020**

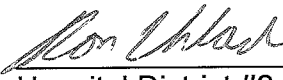
Hospital District #2 is hereby authorized to complete the following planned clearing, grading, excavation, and site stabilization construction activities on parcel 484135, pending the review and approval of the required project permits. The conditions below should be aligned by the developer with the current approved 2017 Washington State Department of Ecology Construction Stormwater General permit and 2019 Stormwater Management Manual for Eastern Washington (SWMMEW).


1. Install and maintain Best Management Practices (BMPs) as detailed in plan sheet C2.0 – TESC Plans and Notes, C2.1 – TESC Notes and Details, Stormwater Pollution Prevention Plan (SWPPP), and as approved by the SWMMEW.
  - a. The sequence of BMP installation shall follow the sequence found on sheet C2.0 – TESC Plans and Notes, with the following additional Conditions:
    - ii. Dust control measures per C2.1 – TESC Notes and Details shall be implemented immediately and as needed to control dust throughout project site preparation and construction, and final closeout.
    - iii. All BMPs shall be wind resistant to prevent movement off site or ineffective application.
    - iv. Covering exposed soils with plastic sheeting prevents erosion, but accelerates movement of water, which can cause erosion at the toe of slopes. Please install plastic sheeting with this in mind, and use BMPs such as quarry spalls at the toe of slope to capture and slow the movement of water adequately to filter out fines, and prevent water from leaving the site.
    - v. High visibility fencing and other BMPs shall not interfere with public sidewalks or roads.
  - b. Erosion control measures to stabilize the cleared area and construction entrances shall be installed no later than September 4, 2020.
  - c. Upon installation, please contact Lucy Temple to make arrangements for an onsite inspection.

*Hospital District #2 Ambulance Garage Construction  
Interim Work Authorization  
8/27/2020*

This Interim Work Authorization is subject to the following conditions:

1. It shall be the ongoing responsibility of the property owner to monitor and maintain these dust, erosion, and sediment control measures.
2. Additional dust, erosion, and sediment control measures shall be installed as necessary, especially as seasonal weather changes occur.
3. The work described above shall be subject to monitoring and periodic inspection by the City.
4. Dust control shall be ongoing and accommodated within two hours upon request by the City.
5. The Project Engineer or his/her designee shall notify the City Public Works Director and all affected residences at least one day in advance of any activities that will result in the closure of a lane(s) of travel and shall provide flaggers and/or traffic safety measures in accordance with industry standards.
6. The failure to comply with these conditions of approval may result in the revocation of this interim authorization and/of the imposition of penalties.
  - a. Subsequent permits shall not be issued if there are outstanding code violations on the site.

 8/28/20  
Hospital District #2                      Date

 8/28/2020  
\_\_\_\_\_  
City of Cle Elum                      Date



## **EXHIBIT V. 2019 COMPREHENSIVE PLAN CONSISTENCY**



*The following 2019 Comprehensive Plan Goals and Policies are met by the proposed project. The remaining Goals and Policies not listed below are not applicable to the project, but the project is not inconsistent with any Goals or Policies.*

**Goal LU-1: Management and Implementation**

**LU – 1.1** To influence the character of the City of Cle Elum by managing land use and developing facilities and services in a manner that directs and controls land use patterns and intensities.

**LU – 1.2** Land use changes should be guided by topography, soils conditions, adjacent land uses, and the ability of the City to provide facilities and services.

**LU – 1.3** Ensure that new development does not outpace the City’s ability to provide and maintain adequate public facilities and services by allowing new development to occur only when and where adequate facilities exist or can be provided.

**LU – 1.5** The City will coordinate concurrency management review. Developers shall provide information relating to impacts that the proposed development will have on public facilities and services.

**LU – 1.8** Conditional Use Permits, street vacations, variances and other special applications shall only be permitted when there is an overriding permanent public benefit consistent with the goals and policies of this Comprehensive Plan.

**Goal LU-2: Maintain residential quality and livability suitable for a rural town.**

**LU –2.9** Promote the development and construction of pedestrian and bicycle facilities within, and linking, proposed and existing residential developments, commercial service areas and recreational opportunities.

**LU –2.10** Protect residential zoning districts from adverse impacts created by land uses permitted in adjoining commercial or industrial zoning districts. Where possible, relocate or create “transitional overlays” to those districts.

**LU –2.11** Preserve the “established” character in existing neighborhoods that are significantly built-out by zoning for infill development to occur at densities, and with similar standards, consistent with the existing development pattern.

**Goal LU-3: Preserve Cle Elum’s natural environment while allowing for growth and development.**

**LU –3.5** All new development must be in compliance with the provisions of the 2019 Stormwater Management Manual for Eastern Washington and the Washington State Department of Ecology Best Management Practices.

**LU –3.8** Developments in steep slope areas [as defined by CEMC 18.01] shall not be permitted unless information is provided to the City, that is both adequate and acceptable, that addresses erosion, slope and soil stability, drainage, stormwater runoff and diversion.

**LU –3.10** The City of Cle Elum may regulate clearing and tree removal which results in disturbance to trees, vegetation and soils in order to: Minimize the need for additional stormwater facilities, reduce erosion, reduce risk of land slides, reduce silt laden discharges in stormwater system, preserve and enhance the City’s character.



**LU –3.11** Protect and preserve water quality, natural drainage, fish and wildlife habitats and the functions of streams and wetlands.

**Goal LU-5: Create Order and Energy in Commercial Areas**

**LU –5.7** Continue to encourage the development of a safe and functional pedestrian network through Cle Elum’s commercial areas.

**LU – 5.8** Continue the mandatory use of “Site and Design Review” to maintain a consistent range of aesthetic and practical development standards such as pedestrian connectivity, landscape buffers, landscaping, for all new development and redevelopment in commercial areas.

**LU –5.9** Require the use of shared driveways and controlled ingress/egress for new development in commercial areas.

**LU – 5.10** Encourage broad and diverse uses in existing commercial areas to promote maximum occupancy.

**Goal LU-12: Water Quality & Quantity**

**LU –12.3** The City shall consider the impacts of new development on water quality as part of its review process and will require any appropriate mitigating measures.

**LU –12.6** Adequate on-site disposal of surface water runoff shall be provided by all types of development.

**Goal LU-13: Drainage, flooding, and stormwater runoff**

**LU –13.1** Keep impervious surfaces to a minimum to achieve open space, greenery, and reduce impact on drainage system.

**LU –13.2** Development shall take adequate measures to minimize significant erosion and flash flooding conditions by: Limiting the total amount of impervious surface to be created; Planting sufficient vegetation to offset the effects of the impervious surfaces created; and/or providing sufficient drainage facilities to control storm runoff.

**LU –13.4** Review available best management practices which can be used to reduce erosion and sedimentation associated with development within Cle Elum. Investigate the need for additional erosion control measures for construction projects.

**LU –13.5** Continue to improve the City’s stormwater infrastructure in preparation for an eventual municipal stormwater system.

**Goal LU-14: Air Quality**

**LU –14.4** Keep dust to a minimum on all public streets and alleys: 1. All streets and roads inside the City should be paved and maintained; and 2. Dust abatement programs should be continued for remaining unpaved roads until paving can be done.

**Goal LU-15: Noise**

**LU –15.2** Reduce and prevent excessive noise and vibration in attached residential dwelling through construction requirements.

LU –15.4 Consider noise impacts within development application review processes.

**Goal LU-18: Aesthetics**

LU –18.12 Encourage architectural styles that reflect the City’s built and natural environment.

**Goal CF-3: To actively influence the future character of the city by managing land use change and by developing city facilities and services in a manner that directs and controls land use patterns and intensities.**

CF-3.1 Development shall be allowed only when and where all public facilities are adequate and only when such development can be adequately served by essential public services without reducing level of service standards else-where.

CF–3.4 Require that development proposals are reviewed by the various providers of services, such as school districts, sewer, water, and fire departments, for available capacity to accommodate development and needed system improvements.

CF-3.7 Development proposals within the city should incorporate construction designs which minimize water and energy consumption.

**GOAL U3: Decisions made by the City of Cle Elum regarding utility services within the City will be made in a manner consistent with and complementary to regional demands and resources.**

U3.3 New development shall be allowed only when and where utilities are adequate, and only when and where such development can be adequately served by essential public utilities, or provided by the developer, without significantly degrading level of service elsewhere.

**Objective 1: Be consistent with the City’s Comprehensive Plan Goals and Policies, the State’s Growth Management Act, and County-wide Planning Policies. (RCW 36.70(A).040; CWPP 4.1, 4.3; KC Comp Plan GPO 4.7, 4.47)**

T-4 Adequate transportation facilities and services should be in place at the time of occupancy of a development.

**Objective 2: Create a comprehensive street system that provides reasonable vehicular circulation throughout the City while enhancing the safety and function of the overall local transportation.(CWPP 4.1; KC Comp Plan GPO 4.1, 4.3, 4.4)**

T-10 Streets and pedestrian paths in residential neighborhoods should be arranged as an interconnecting network that serves local traffic and facilitates pedestrian circulation.

T-13 Street standards should be based on functional classification and land use objectives.

T-15 Provide a balance between protecting neighborhoods from increased through traffic while maintaining access to neighborhoods.

T-18 Access management of Cle Elum’s local system should be consistent with site Design Review Process, development standards, and the Cle Elum Municipal Code.

T-19 Continue the traditional grid pattern of streets within the City; cul-de-sacs and other forms of dead-end streets are not encouraged except where they are required by topography or property configuration.

**Objective 3: Evaluate existing and future land use for its impacts to the circulation system; ensure that a consistent level of service is provided to the public; and any improvements that may be required, are concurrent to the development.(RCW 36.70(A).040; CWPP 4.8; KC Comp Plan GPO 4.16, 4.18)**

**T-22** The City shall not issue development permits where the project requires transportation improvements that exceed the City's ability to provide these in accordance with the adopted Level of Service standard, unless the developer accepts full responsibility for such improvements.

**T-23** New development shall be allowed only when and where all transportation facilities are adequate at the time of development, or unless a financial commitment is in place to complete the necessary improvements or strategies which will accommodate the impacts within six years; and only when and where such development can be adequately served by essential transportation facilities without reducing level of service elsewhere.

**T-24** At a minimum, the developer or landowner's proposal shall include provisions for sidewalks, lighting, landscaping, access, off-street parking, stormwater control, and road and signage improvements.

**Objective 4: Promote the development and enhancement of non-motorized transportation Citywide. (CWPP4.6; KC Comp Plan GPO 4.14.)**

**T-25** Pedestrian and bicycle traffic should be accommodated within all areas of the City.

**T-29** Streets and pedestrian paths in residential neighborhoods should be arranged as interconnecting networks and should connect to other streets.

**T-30** New pedestrian facilities should be compliant with the Americans with Disabilities Act, and existing facilities should be upgraded to improve accessibility.

**T-31** Non-motorized transportation should be developed in tandem with motorized transportation systems, recognizing issues such as safety, user diversity, and experiential diversity.

**T-32** Recognize the diversity of transportation modes and trip purposes for the following three groups: pedestrians, bicyclists, other non-motorized wheels.

**T-33** Foot/bicycle separation should be provided wherever possible; however, where conflict occurs, foot traffic should be given preference.

**T-34** Adequate separation between non-motorized traffic should be provided to ensure safety.

**T-41** Whenever practicable require that storm drains, utility boxes and other similar infrastructure on or near road shoulders be located outside of these travel ways. When not practicable, these improvements shall be flush with travel surface to create a viable pedestrian/bicycle travel lane.

**Goal H-3: Residential neighborhoods contain necessary public amenities and support facilities that contribute to a high quality of life in Cle Elum.**

**H -3.1** Preserve and enhance the integrity and quality of existing residential neighborhoods.

**H -3.4** Promote functional, well designed and integrated multi-modal transportation facilities to serve neighborhoods.



## **EXHIBIT VI. COMMENTS RECEIVED**