

City of Cle Elum
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CITY OF CLE ELUM

Site & Design Review / Floodplain / SEPA SDR-2020-005 / FP-2020-003 / SEP-2020-007

FINAL PERMIT PACKAGE

PROJECT:	Garnet Ledge Investments storage facility SDR-2020-005, FP-2020-003 & SEP-2020-007
APPLICANT: (Property Owner)	Garnet Ledge Investments LP PO Box 946, Roslyn Cle Elum, WA, 98922 509-572-7721
DESCRIPTION:	An 8,000 sf pre-manufactured steel building to be operated as a climate-controlled and dry wine storage facility, with 46 new or adjusted parking spaces within the area known locally as the Swiftwater Business Park.
LOCATION:	400 Swiftwater Blvd Cle Elum, WA 98922
PARCEL NUMBER:	123134
ZONING:	General Commercial
APPLICATION TYPE:	Type II
PREPARED BY:	Lucy Temple, Planner
DATE:	December 29, 2020
DECISION:	Garnet Ledge storage facility project APPROVED per attached final permit for SDR-2020-005, FP-2020-003, SEP-2020-007.
APPEAL:	The appeal process for Type II decisions is found in CEMC 17.100.130

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BACKGROUND INFORMATION:

The City received applications for a Site & Design Review, Floodplain Permit, and State Environmental Policy Act (SEPA) on October 21, 2020 Garnet Ledge Investments LP, to build an 8,000 square foot wine storage facility at their property at 400 Swiftwater Blvd in the Swiftwater Business Park.

SITE & DESIGN REVIEW

([CEMC 17.76.040\(F\)\(2\)](#) CRITERIA FOR DESIGN REVIEW APPROVAL)

- a. *The proposed use is permitted within the zoning district in which it is located.*

Staff Response #1

The proposed use is permitted within the General Commercial zone ([CEMC 17.32.020\(Q\)](#) and [CEMC 17.04.030](#)).

- b. *The proposed use is permitted within the zoning district including lot, yard, building, height and other requirements.*

Staff Response #2

The proposed project meets the height, yard, and minimum lot size requirements of the General Commercial zone, which does not require setbacks and has a minimum lot size of 5,000sf and the subject parcel is over 29,000sf. The maximum height for the district is 35 ft and the proposed building height is 29ft which is shown on the building permit application plans but is not included in this permit package.

- c. *The proposed design meets landscaping, screening and buffering standards of [CEMC 17.64](#).*

Staff Response #3

Required elements of a landscaping plan are found in CEMC 17.64.030. The Completeness Review issued on November 18, 2020 included a list of landscaping requirements that were not included in the original application. Several items were included in the re-submittal on November 24, and additional items were received in an updated landscape plan on December 17 and another on December 22. The updated landscape plan submitted on December 22, 2020 is included in Exhibit 2, which supersedes civil plan sheets C0.0, C1.0, C2.0, C3.0 found in Exhibit 1. Outstanding landscaping requirements are included in the Final Project Conditions below.

CEMC 17.64.030 – Landscape plan approval

A building permit will not be issued until the landscape plan is approved by the City, per CEMC 17.64.030.

Staff Response #4

The building permit is ready to be issued and shall be conditioned to include all Final Project Conditions listed in this document.

CEMC 17.64.050 – Preservation of significant trees

Significant trees in areas in wetlands, fish and wildlife conservation areas, frequently flooded areas, geologically hazardous areas as defined in CEMC Chapter [18.01](#), and in the required landscaped buffer adjacent to I-90, shall be preserved. “Significant trees” are defined as existing healthy trees which, when measured four feet above grade, have a minimum diameter of eight inches for evergreen trees, or twelve inches for deciduous trees. Significant trees shall be identified by a tree survey prepared by the applicant and shall be preserved to the maximum extent possible. During construction, the applicant shall use accepted preservation techniques to protect significant trees designated for retention.

Staff Response #5

Significant trees are marked on the civil plans with diameter at breast height and labeled either deciduous or pine. The civil plans show all on-site significant trees being removed, contrary to CEMC 17.64.050.

CEMC 17.64.050 – Surface parking areas

- A. Perimeter Landscaping – A 5ft B1 buffer is required around the exterior perimeter of the side and rear yards, including parking areas (CEMC 17.64.070(A)(1)). The B1 buffer requires live groundcover throughout the buffer and trees planted every thirty feet along the length of the buffer (17.64.070(A)).

Staff Response #6

The submitted plans include perimeter landscaping sufficient to meet this standard.

- B. Landscaping ratio – Landscaping shall be included at a ratio of 10% of the surface parking areas.

Staff Response #7

The surface parking area ratio is sufficient to meet this standard.

- C. Landscaped islands – Islands shall include one tree for every six parking stalls, islands shall be a minimum of 25 sf and contain a minimum of one tree of suitable species and ground cover plantings.

Staff Response #8

Submitted plans include six parking islands with trees. There are approximately 32 proposed *new* parking stalls, which satisfies the requirement. See Staff Response #11.

- D. Permanent curbs or structural barriers shall be provided to protect the plantings from vehicle overhang and damage.

Staff Response #9

Curbs or barriers are not shown on plans.

CEMC 17.64.090 – Timing of installation

All required landscaping shall be installed prior to building occupancy, provided that the City may authorize up to a 180-day delay when planting season conflicts could produce a high probability of plant loss. A bond or assignment of funds in the amount of 125% of the work and materials required to install the approved landscaping shall be required.

Staff Response #10

Landscaping is not proposed for installation until the spring of 2021 when the ground is sufficiently thawed. See Final Project Conditions related to building occupancy.

- d. *The proposed design meets the off-street parking and loading requirements of [17.56](#).*

Staff Response #11

The required off-street parking for the proposed use (storage building) is not specifically included in CEMC 17.56 – off-street parking and loading requirements. However, the commercial use closest to the proposed use is a shopping center requiring 4 spaces per 1,000sf of gross leasable area. Although the proposed use is in the General Commercial zone, it could also be considered a warehouse or storage building as listed under industrial activities (CEMC 17.56.040(C)), which requires 1 space for every 2,000sf of gross floor area. The proposed building is 8,000sf, which would require 4-32 parking spaces, depending on interpretation of the code. The proposed plan includes 46 new parking spaces which is sufficient to meet the standard of the entire site including the existing building, and the proposed individual building use. See Staff Response #8.

- e. *The standards of Chapter 18.01, maintenance, enhancement and preservation of critical areas are met.*

Staff Response #12

The entire site is a frequently flooded area regulated by CEMC 18.01 – Critical Areas Protection, otherwise referred to as a 100-year floodplain regulated by CEMC 15.24 – Flood Hazard Prevention. The floodplain permit will accomplish compliance with both critical areas and flood hazard regulations. CEMC 18.01.070 requires mitigation for permanent disturbances to frequently flooded areas as listed in CEMC 18.01.070(E).

Proposed compensatory mitigation as required by CEMC 15.24 will meet the mitigation standard. See Staff Response #13.

- f. *The proposed design and use meets all other applicable sections of Cle Elum Municipal Code.*

Staff Response #13

The permit package included a State Environmental Policy Act Checklist and issued Determination of Nonsignificance (SEP-2020-007), and a Floodplain Permit (see Exhibits 4 and 5, respectively). The Completeness Review issued on November 18, 2020 requested an Elevation Certificate (EC). The response received on November 24, 2020 stated the required survey for an EC was scheduled, and the EC was received on December 23, 2020.

The project has been otherwise conditioned to meet applicable sections of the CEMC. Reviews will take place as needed to remain in compliance with the Final Project Conditions included in this permit.

- g. *Public improvements are completed in compliance with applicable code sections.*

Staff Response #14

Public improvements are not required for this project as it is not adjacent to public right of way.

- h. *Adequate and safe provisions are made for pedestrian and vehicle access.*

Staff Response #15

A continuous pedestrian pathway is not required because there is no adjacent public right of way. However, adequate pedestrian safety shall be incorporated into the project striping, where possible.

- i. *All conditions of applicable previous approvals (SEPA review, CUP, rezones) are met.*

Staff Response #16

See Staff Responses #12 and #13 above. All conditions of other approvals have been met or will be met prior to final Certificate of Occupancy for the building. See Final Project Conditions below and staff responses throughout this Site and Design Review.

- j. *All applicable conditions and criteria found in other Cle Elum Municipal Code titles are met.*

Staff Response #17

See section f above and Staff Responses #12, #13, and #16 above.

SUPPLEMENTARY DEVELOPMENT STANDARDS (Site & Design Review)

(CEMC 17.76.050)

- A. *A continuous pedestrian walkway shall be provided from the public street to access building entrances. The pedestrian walkway shall be a minimum of six feet wide and shall be elevated, protected by a curb, bollards, or landscaping otherwise protected to prevent vehicles from parking, driving or entering the walkway. The required six feet may not be encroached by vehicle overhangs. The walkway shall be composed of Portland cement concrete, brick pavers or other similar surface. Where a walkway must cross a vehicle access aisle it shall be distinguished from the driving areas by use of an alternative paving material which may be brick, pavers, or scored, brushed or colored concrete.*

Staff Response #18

See Staff Response #15 above.

- B. *Ground level mechanical equipment shall be screened with visual barriers from adjacent property, public roadways, parks or other public areas. Mechanical equipment on roofs shall be screened from ground level.*

Staff Response #19

Ground level mechanical equipment includes a condenser unit for the HVAC system (see Exhibit 3). This condition will be handled under the building permit process.

- C. *A storage area for garbage and recycling containers shall be provided. The area shall be fully screened by a fence, wall, landscaping or combination thereof. Storage areas may not be located in a public right-of-way and where an alley serves the site, shall only be accessed from the alley.*

Staff Response #20

A storage area for garbage and recycling is planned for the northeastern property boundary (see Exhibit 3). Staff have not received a plan for this storage area. This will be included in the building permit process.

- D. *Predominant building materials shall be those materials that are characteristic of the historic buildings in the city or characteristic of central Washington, such a brick, wood, native stone, and tinted and textured masonry. Visible roofs should be metal. Architectural methods, such as parapets, shall be used to conceal flat roofs. Mansard roofs are prohibited.*

Staff Response #21

The current design does not meet this standard. See Final Project Conditions below. This will be included in the building permit process.

- E. *Outdoor storage and display of materials shall be screened from streets, rights-of-way and adjacent properties may a fully site obscuring buffer consisting of appropriate fencing and landscaping.*

Staff Response #22

The project does not propose outside storage of materials.

- F. *For all uses creating over two thousand square feet of new impervious surfaces a stormwater control plan is required that treats and retains all stormwater on-site. Impervious surfaces shall include cement, concrete, packed earth and gravel or other similar surface which changes the runoff patterns from native soils.*

Staff Response #23

The parking area is projected to be 12,882sf and the building is proposed to be 8,000sf for a total of 20,882sf of new impervious surfacing. Stormwater drainage considerations were included in the application package. Corresponding conditions are found below and in Exhibit 9 – HLA review letter.

- G. *Roofs shall be designed such that snow from the roof will not be deposited on adjacent public or private properties.*

Staff Response #24

Roof design will be handled by the building permit process.

STATE ENVIRONMENTAL POLICY ACT (SEPA)

SEPA was processed for the project and a Determination of Nonsignificance was issued on December 17 through the Optional DNS Process (WAC 197-11-355). See Exhibit 4 for complete SEP-2020-007 package.

A combined notice of application using the Optional DNS Process was posted onsite, at City Hall and the City library, provided to all agencies with jurisdiction, mailed to properties within 300 feet, shared on the City's website and Facebook page, and posted in the local newspaper on December 3 and December 10, 2020.

FLOODPLAIN PERMIT

The project's final floodplain permit is attached as Exhibit 5 and the conditions are included below.

FIRE PROTECTION

City Public Works, Building, and Fire departments reviewed the submitted civil plans and determined the fire hydrant must be moved to meet fire safety. The proposed location and confirmation from the Cle Elum Fire Chief are found in Exhibit 6. See also the project conditions below.

CONSTRUCTION

Proposed Best Management Practices (BMPs) were not included in the civil plans. The applicant shall submit a construction plan that shows haul route, and proposed BMPs to the City Planner and Public Works Director prior to the pre-construction meeting.

An example interim grading authorization has been included as Exhibit 7. A word version of this document will be distributed to the applicant, which will be modified to include approved construction BMPs and emergency contact information. The final document will be provided to both parties prior to start of construction.

Due to the high probability for discovery of cultural and archaeological resources in Cle Elum, and a higher probability in floodplain areas, an inadvertent discovery plan has been included as Exhibit 8.

AGENCY AND PUBLIC COMMENTS

The Washington State Department of Transportation submitted a comment letter, and the City's Consultant HLA submitted a plan review letter which are included as Exhibit 9.

COMPREHENSIVE PLAN CONSISTENCY

CEMC 17.76.040(C), requires the project to be consistent with the current City comprehensive plan. Plan consistency is included as Exhibit 10.

RELATED PERMITS AND APPROVALS

Boundary Line Adjustment	BLA-2020-002	Pre-application Review	PREAP-2020-007
SEPA	SEP-2020-007	Site & Design Review	SDR-2020-005
Floodplain	FP-2020-003	Building Permit	TBD

FINAL PROJECT CONDITIONS

The following Final Project Conditions are those which are not already designed into the project. Staff recommends the building permit be contingent upon the following Final Project Conditions:

1. **Plan Submittal.** The applicant shall review all comments, requirements, and conditions (including Exhibit 6 and Exhibit 7) and revise plans and submittals as requested, including but not limited to storm drainage report, addressing the boundary line adjustment (see HLA comment letter, Exhibit 9 and, Staff Response #23), hydrant location (see Exhibits 6 and 9), and any other outstanding issues. These outstanding issues shall be addressed prior to receiving a passing site inspection prior to building occupancy and will be managed within the building permit.
2. **Construction.** The applicant shall submit proposed BMPs and haul route prior to the pre-construction meeting (see CONSTRUCTION above). The City Planner, Public Works Director, and Building Official shall be invited to the pre-construction meeting.
3. **Construction Methods.** The applicant shall work with the City to execute an Interim Grading Authorization prior to any ground disturbing activities. The applicant shall adhere to Interim Grading Authorization conditions (example found in Exhibit 7), including maintaining and modifying BMPs as necessary.
4. **Cultural Resources.** The Inadvertent Discovery Plan found in Exhibit 8 shall be kept onsite at all times during ground disturbing activities.

5. **Fire Protection.** A fire hydrant shall be located to the east of the proposed building, closer to the northwest end of the existing building, as shown in Exhibit 6. This condition will be managed within the building permit.
6. **Landscape Plan and Construction.** Landscaping shall adhere to [CEMC 17.64](#).
 - a. **Landscaping Islands.** Curbs should be shown on plans. A cross section of landscape islands and perimeter buffers shall be submitted and approved prior to constructing landscape islands. See Staff Response #9 above.
 - b. **Landscape Planting.** All planting shall adhere to sizes required by CEMC 17.64.
7. **Significant Trees.** A list of trees, their sizes and *species* shall be submitted to substitute for the required “tree survey prepared by the applicant”. This tree removal plan shall be approved prior to tree removal. Developer shall “use accepted preservation techniques to protect” pine trees and other deciduous species. See Staff Response #5 above.
8. **Stormwater.** Applicant or consultant shall respond to comments received from City consultant HLA, which are found in Exhibit 9.
9. **Collection/Storage.** A storage area for garbage and recycling containers shall be provided. The area shall be fully screened by a fence, wall, landscaping or combination thereof. Garbage shall not be permitted to leave the site except by standard garbage collection. This condition will be managed within the building permit.
10. **Floodplain Permit.** See Staff Response #13 above. The floodplain permit is included as Exhibit 5 and the final conditions are included below. These conditions will be managed within the building permit:
 - a. Structural components shall be capable of resisting hydrostatic and hydrostatic loads and effects of buoyancy;
 - b. Utilities shall either be located three or more feet above the base flood elevation (BFE) or be engineered to the City of Cle Elum Engineers requirements appropriate for the conditions;
 - c. All new construction and substantial improvements shall be constructed using flood resistant materials and using methods and practices that minimize flood damage; and
 - d. All new construction and substantial improvements shall be anchored to prevent flotation, collapse, or lateral movement of the structure.
11. **Flood proofing and engineering.** The developer shall demonstrate how each requirement of CEMC 18.01.070(E) will be met by the development. See Staff Response #13. This condition will be managed within the building permit.
12. **Ground-Level Mechanical Equipment.** This requirement includes screening of ground-level mechanical equipment as stated in Staff Response #19 above. This condition will be managed within the building permit.
13. **Utilities.** A backflow device for water supply and fire lines will be required. Please coordinate with City Public Works and Building Departments. Per CEMC 18.01.070(E)(2) utilities shall either be located three or more feet above the base flood elevation (BFE) or be engineered appropriately for conditions. This condition will be managed within the building permit.
14. **Construction Hours/Days.** Construction of the facility will be permitted Monday-Friday 7am-10pm, unless special permission is received from the City to deviate from these hours.
15. **Building Materials.** Predominant building materials shall be those materials that are characteristic of the historic buildings in the city or characteristic of central Washington, such a brick, wood, native stone, and tinted and textured masonry. Architectural methods, such as parapets, shall be used to conceal flat roofs. Mansard roofs are prohibited. **Recommend installing a 3’ tall rock, brick, or wood wainscoting around building exterior or redesign and resubmit for alternative optional approval.**

16. **Building Permit.** Building code requirements will be handled during the building permit process. The building permit shall be conditioned to include the Final Project Conditions of the Site and Design Review.
17. **Building Occupancy.** See Staff Response #10 above. The building may be provided a certificate of occupancy or temporary occupancy once a bond for landscaping is approved. **A bond shall be prepared which will include all planting requirements from CEMC 17.64 (see above) and required irrigation.** The plan shall be submitted to the City who will add 25%, circulate for review, and administratively approve if complete and adequate to cover all City costs to install required landscaping and irrigation. Condition 1 above must also be met prior to building occupancy.

EXHIBIT 1. CIVIL PLANS

STANDARD PLAN NOTES:

- ALL WORK SHALL BE COMPLETED IN CONFORMANCE WITH THE WSDOT/PWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (CURRENT EDITION).
- A COPY OF THE APPROVED PLANS MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR WORK THAT ARE NOT PROVIDED BY THE OWNER PRIOR TO START OF CONSTRUCTION.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION MEETING WITH THE OWNER, THE CITY, AND OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY THE OWNER'S PROFESSIONAL ENGINEERING CONSULTANT AND CITY OF CLE ELUM DEPARTMENT OF PUBLIC WORKS OF THE PRE-CONSTRUCTION MEETING TIME AND LOCATION.
- PAVED SURFACES INCLUDING ROADWAYS, SIDEWALKS AND CURBS THAT ARE TO REMAIN BUT ARE DAMAGED BY NEW CONSTRUCTION SHALL BE REPAIRED AS REQUIRED BY THE INSPECTOR.
- ALL SURVEYING AND STAKING OF IMPROVEMENTS SHALL BE APPROVED BY THE OWNER. CONTRACTOR SHALL COORDINATE AND VERIFY WITH THE OWNER PRIOR TO OBTAINING STAKING SERVICES.
- THE CONTRACTOR SHALL NOTIFY THE FIRE DISTRICT 7 TWENTY-FOUR (24) HOURS IN ADVANCE OF ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUT-OFFS, AND STREET CLOSURES OR OTHER ACCESS BLOCKAGE. THE CONTRACTOR SHALL ALSO NOTIFY THE DISTRICT OF ALL NEW, RELOCATED, OR ELIMINATED HYDRANTS RESULTING FROM THIS WORK.
- ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED

- FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE CONTRACTOR SHALL LOCATE AND PROTECT ALL ACTIVE CASTINGS AND UTILITIES DURING CONSTRUCTION AND SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (1-800-424-5555 OR 811) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURE LIDS, VALVE BOXES AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS.
 - THE CONTRACTOR SHALL PROVIDE FOR ALL COMPACTION TESTS REQUIRED BY THE INSPECTOR.
 - BACKFILL MATERIAL SHALL MEET CITY OF CLE ELUM STANDARDS AND THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS AND SHALL BE APPROVED BY THE CITY PRIOR TO BACKFILLING.
 - INSPECTION AND ACCEPTANCE OF ALL WORK WILL BE ACCOMPLISHED BY THE CITY INSPECTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS, ALLOWING PROPER ADVANCE NOTICE. THE INSPECTOR MAY REQUIRE RECONSTRUCTION OF ITEMS THAT DO NOT MEET THE CONTRACT DOCUMENTS OR THAT WERE NOT CONSTRUCTED WITHOUT INSPECTION.
 - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN BEST MANAGEMENT PRACTICES AS SHOWN HEREIN TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER WATERS OF THE STATE. AS CONSTRUCTION PROGRESSES AND UNEXPECTED (SEASONAL) CONDITIONS DICTATE, ADDITIONAL BEST MANAGEMENT PRACTICES MAY BE

- REQUIRED. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL KEEP ALL STREETS AND PUBLIC RIGHT-OF-WAY CLEAN AT ALL TIMES BY SWEEPING. WASHING WILL NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY THE CITY ENGINEER.
 - THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS NECESSARY THROUGHOUT THE PROJECT. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MUTCD AND CITY OF CLE ELUM STANDARDS.
 - CONTRACTOR SHALL NOT MAKE ANY REVISIONS TO THE PLANS IN THE FIELD WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. ALL SECTIONS OF THE WSDOT STANDARD SPECIFICATIONS 1-07.23 - TRAFFIC CONTROL, SHALL APPLY.
 - ANY TRENCH DEEPER THAN 5 FEET WILL REQUIRE SHORING FOR TRENCH WALL STABILIZATION.
 - THE CONTRACTOR SHALL PROVIDE COPIES OF ALL TESTING REPORTS TO THE PROJECT ENGINEER. TESTING SHALL INCLUDE BUT NOT LIMITED TO COMPACTION OF TRENCHES, BASE, GRAVEL, AND ASPHALT PRIOR TO THE ACCEPTANCE AND CONVEYANCE OF THE IMPROVEMENTS.

CONTRACTOR'S RESPONSIBILITY:

- CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

DISCREPANCIES:

- IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS IN DRAWINGS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE ATTENTION OF THE ENGINEER FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

VERTICAL DATUM:

NORTH AMERICAN VERTICAL DATUM 88 (NAVD 88)

FLOODPLAIN NOTE:

THE PROPOSED DEVELOPMENT LIES WITHIN THE FLOODPLAIN BOUNDARY.

PROJECT INFORMATION:

PARCEL NUMBER: 123134 (20-15-26034-0001)
TOTAL SITE AREA: 1.67 ACRES (72,745 SF)
PROPOSED USE: COMMERCIAL
ZONE: GENERAL COMMERCIAL, INDUSTRIAL
APPLICANT: GARNET LEDGE INVESTMENTS, LP
JEFF HANSELL
PO BOX 946
ROSLYN, WA 98941
PHONE: 509-674-6569

ENGINEER:

ENCOMPASS ENGINEERING & SURVEYING
407 SWIFTWATER BLVD
CLE ELUM, WA 98922
PHONE: 509-674-7433
CONTACT: BRUCE NOBLE, PE

SHEET INDEX:

TITLE	NO.
COVER SHEET & SITE PLAN	C0.0
EXISTING CONDITIONS & TESC	C1.0
GRADING & DRAINAGE PLAN	C2.0
SEWER & WATER PLAN	C3.0
NOTES & DETAILS	C4.0

PARKING SPACES
NEW STANDARD SPACES: 44
NEW HANDICAP SPACES: 2
EX STANDARD SPACES: 8
EX HANDICAP SPACES: 2
TOTAL NUMBER OF SPACES: 56



VICINITY MAP
NTS

REVISIONS	DESCRIPTION	BY	DATE

THE PLANS SET FORTH ON THIS SHEET ARE AND SHALL REMAIN THE PROPERTY OF ENCOMPASS ENGINEERING & SURVEYING.
©



11/24/2020

HANSELL SELF STORAGE

JEFF HANSELL

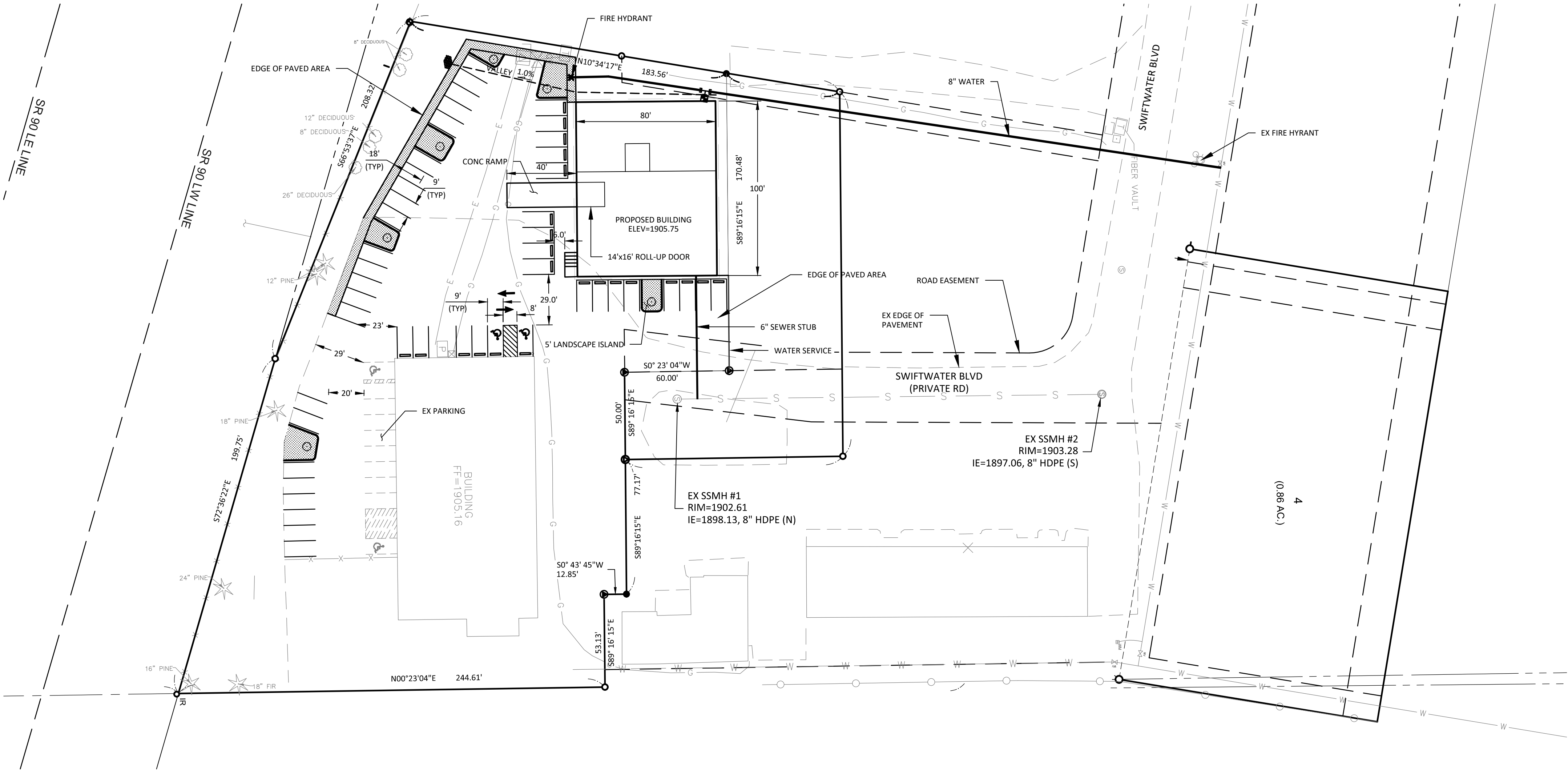
COVER SHEET & SITE PLAN



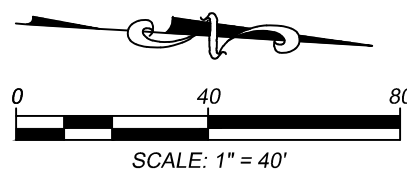
Western Washington Division
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250
407 Swiftwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433

JOB NO.	20010
DATE	NOV 2020
SCALE	AS SHOWN
DESIGNED	TJS
DRAWN	TJS
CHECKED	RBN
APPROVED	RBN

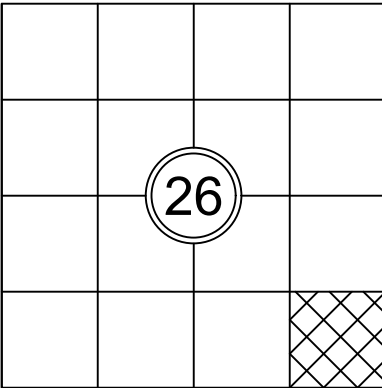
SHEET C0.0



SITE PLAN



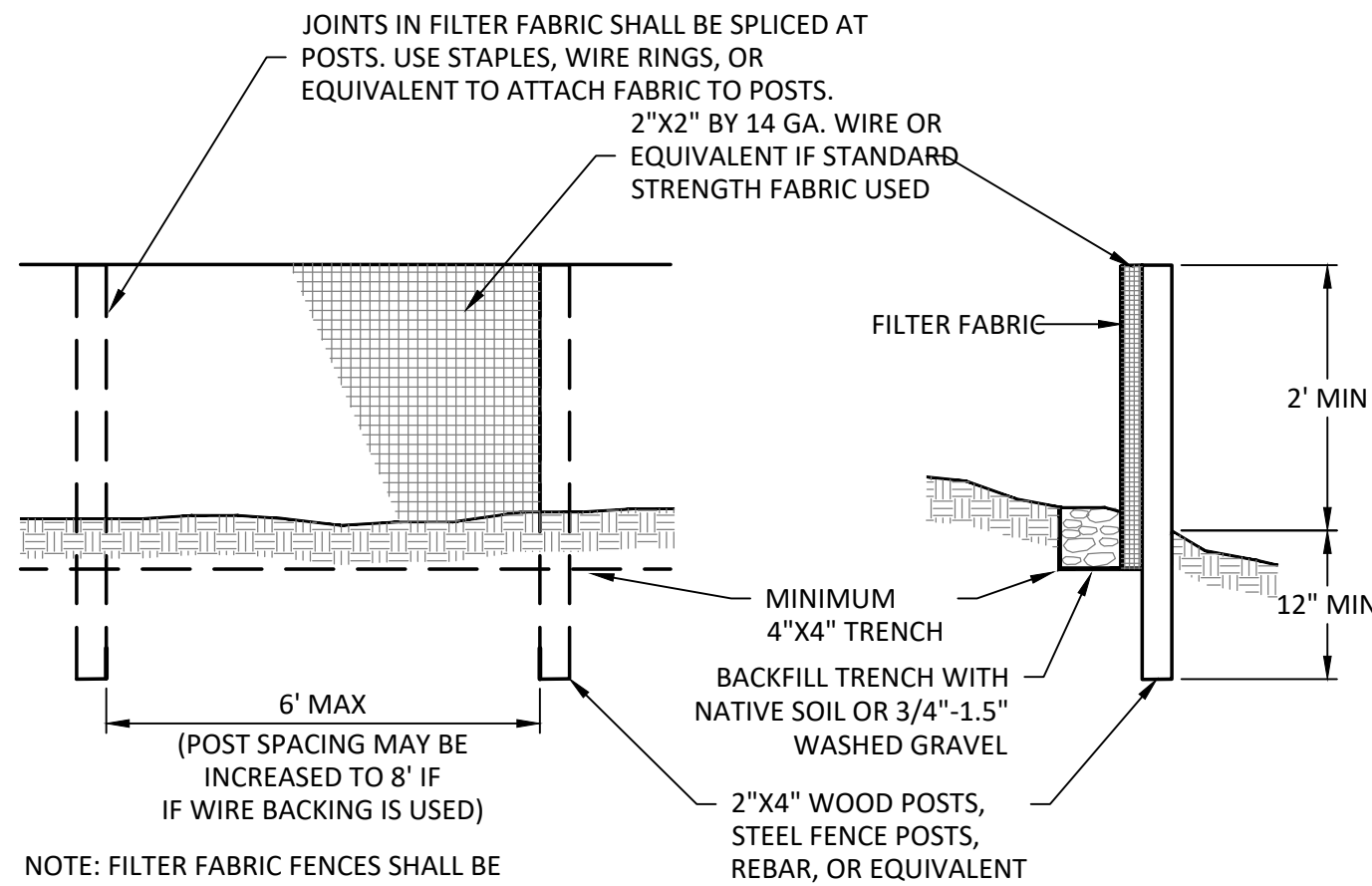
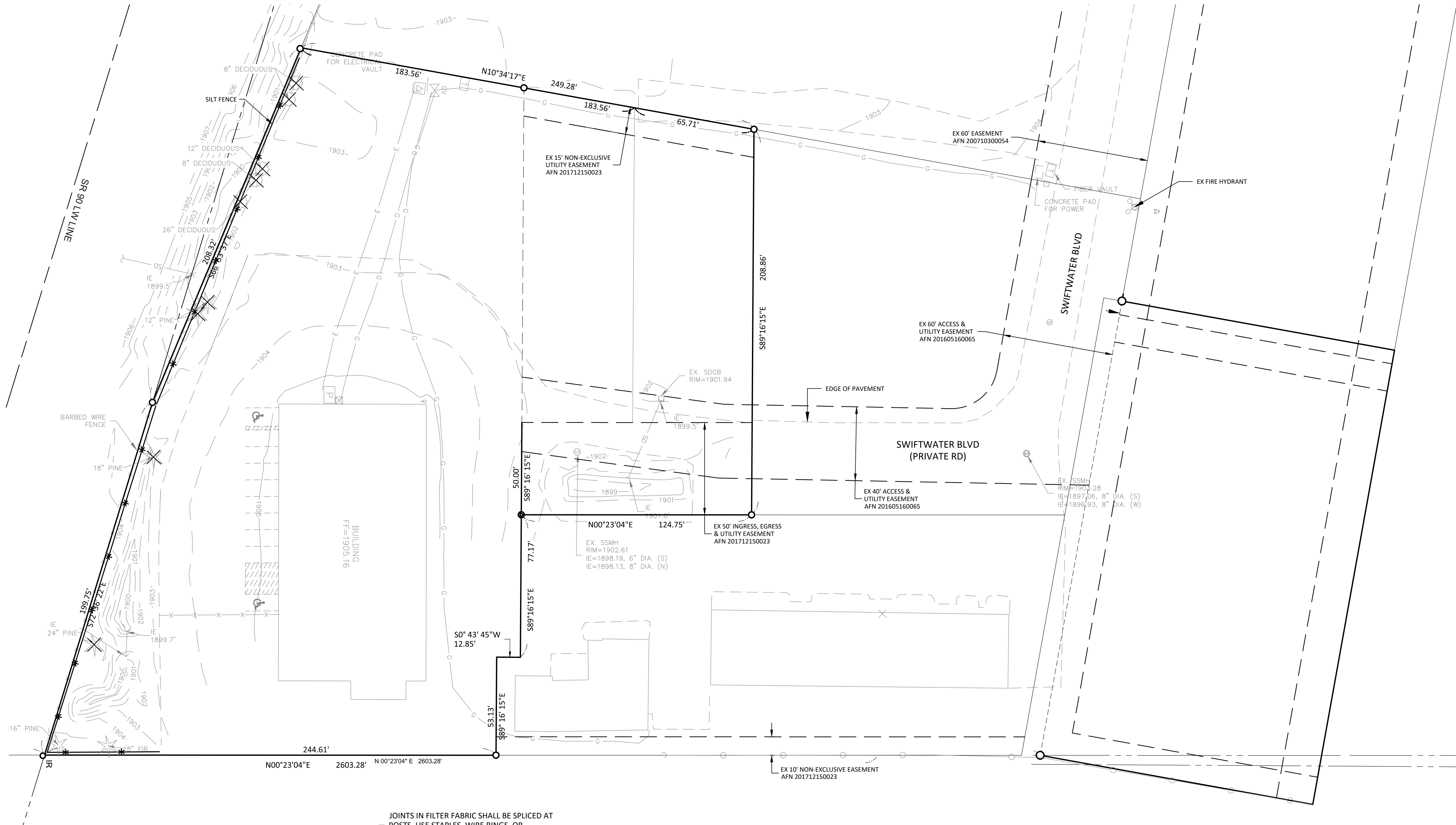
INDEX LOCATION
SEC. 26 T. 20 R. 15 W.M.



HANSELL SELF STORAGE
SE 1/4 OF SW 1/4 OF SECTION 26, T. 20 N., R. 15 E., W.M.
CITY OF CLE ELUM, STATE OF WASHINGTON

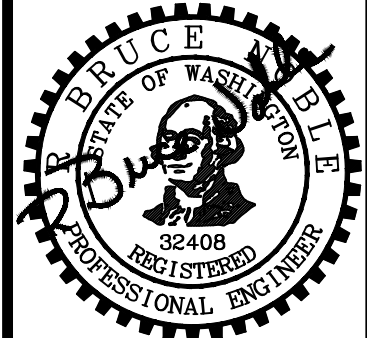
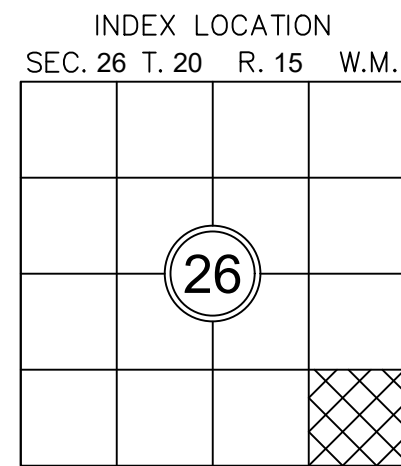
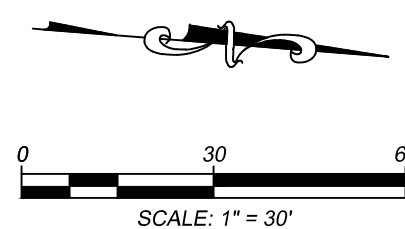
LEGEND:
TREE(S) TO BE REMOVED

GENERAL NOTES:
1. PARCEL LIES WITHIN THE 100-YEAR FLOODWAY.
2. PROTECT AND MAINTAIN ALL EXISTING TREES UNLESS OTHERWISE NOTED.



NOTE: FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE

SILT FENCE
NTS



HANSELL SELF STORAGE
JEFF HANSELL
PRE-EXISTING CONDITIONS/TESS PLAN

Encompass
ENGINEERING & SURVEYING
Western Washington Division
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250
407 Swiftwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433

JOB NO.	20010
DATE	NOV 2020
SCALE	AS SHOWN
DESIGNED	TJS
DRAWN	TJS
CHECKED	RBN
APPROVED	RBN
SHEET	C1.0

DESCRIPTION	BY	DATE

THE PLANS SET FORTH ON THIS SHEET ARE AND SHALL REMAIN THE PROPERTY OF ENCOMPASS ENGINEERING & SURVEYING

HANSELL SELF STORAGE
SE 1/4 OF SW 1/4 OF SECTION 26, T. 20 N., R. 15 E., W.M.
CITY OF CLE ELUM, STATE OF WASHINGTON

LANDSCAPE QUANTITIES
PARKING AREA: 12,882 SF
REQUIRED LANDSCAPING: 1,288 SF
LANDSCAPING PROVIDED: 1,352 SF
PERCENT OF PARKING
AREA LANDSCAPED: 10.50%

QUANTITIES
SITE:
APPROX CUT: 338 CY
APPROX FILL: 1,037 CY
APPROX NET: 698 CY (FILL)
COMPENSATORY STORAGE/POND AREA:
APPROX CUT: 699 CY
APPROX FILL: 0 CY
APPROX NET: 699 CY (CUT)

- NOTES:
- PERMANENT STORM WATER COLLECTION AND RETENTION FACILITIES TO BE USED IN CONJUNCTION WITH TEMPORARY BMPs FOR SEDIMENT CONTROL. ALL STORM FACILITIES USED DURING CONSTRUCTION TO BE CLEANED AND REPAIRED TO GOOD WORKING CONDITION PRIOR TO FINAL PROJECT CLOSEOUT.

LEGEND:
CEMENT CONCRETE PER DETAIL SHEET CS.1
LANDSCAPED AREA WITH NATIVE PLANTS

SITE CROSS SECTION
NTS

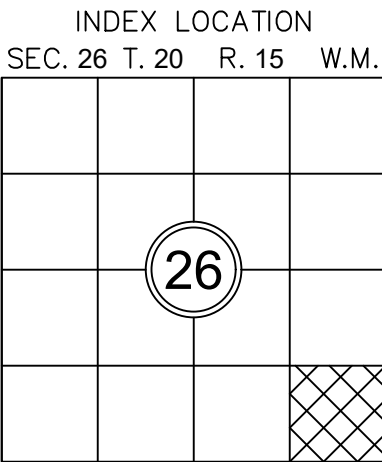
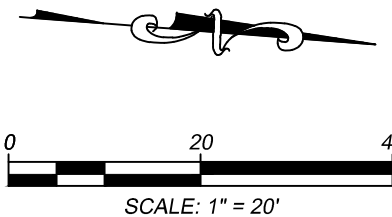
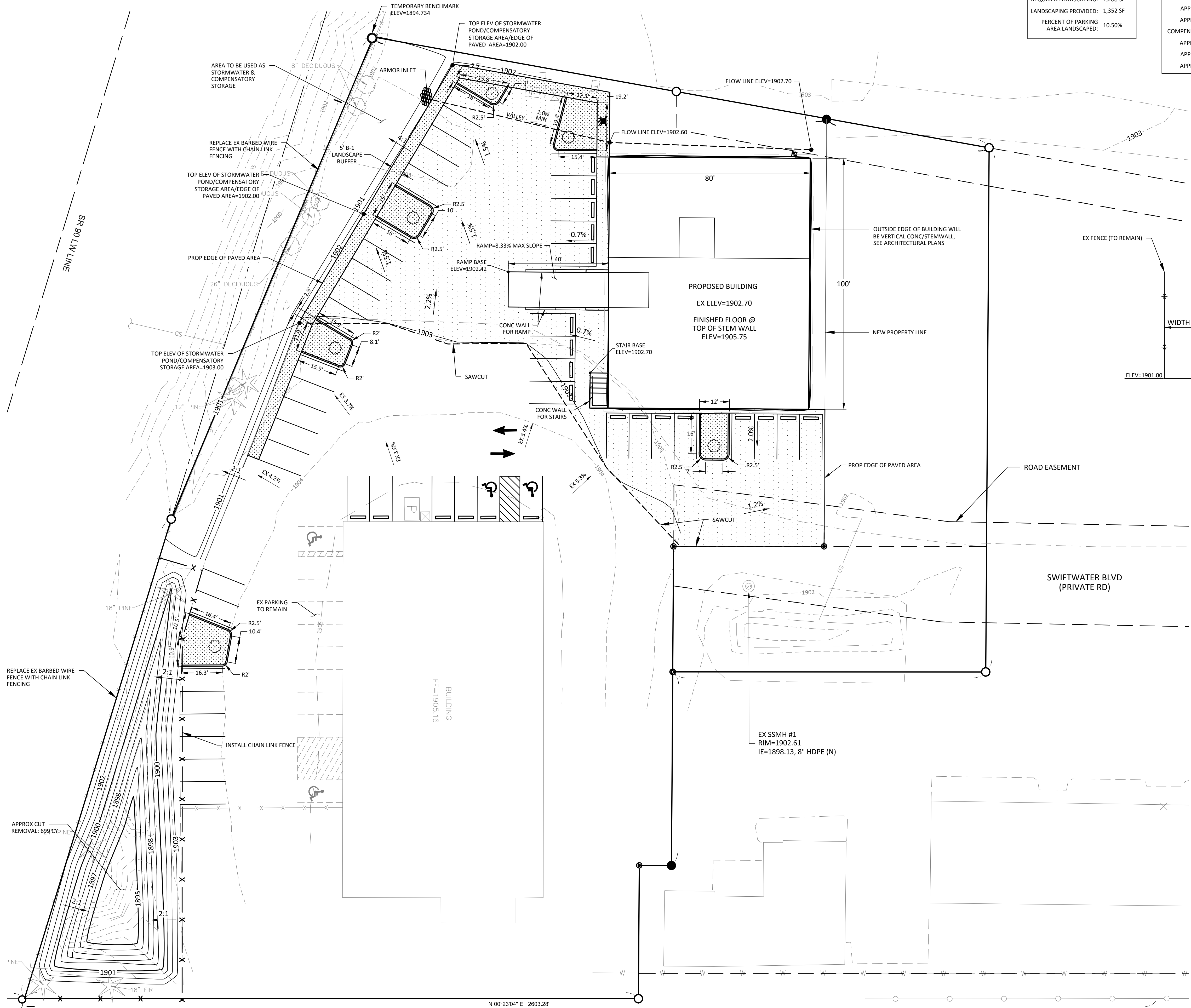


HANSELL SELF STORAGE
JEFF HANSELL
GRADING & DRAINAGE PLAN

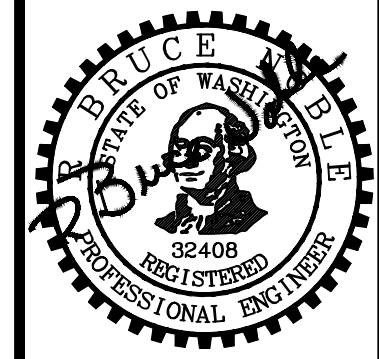
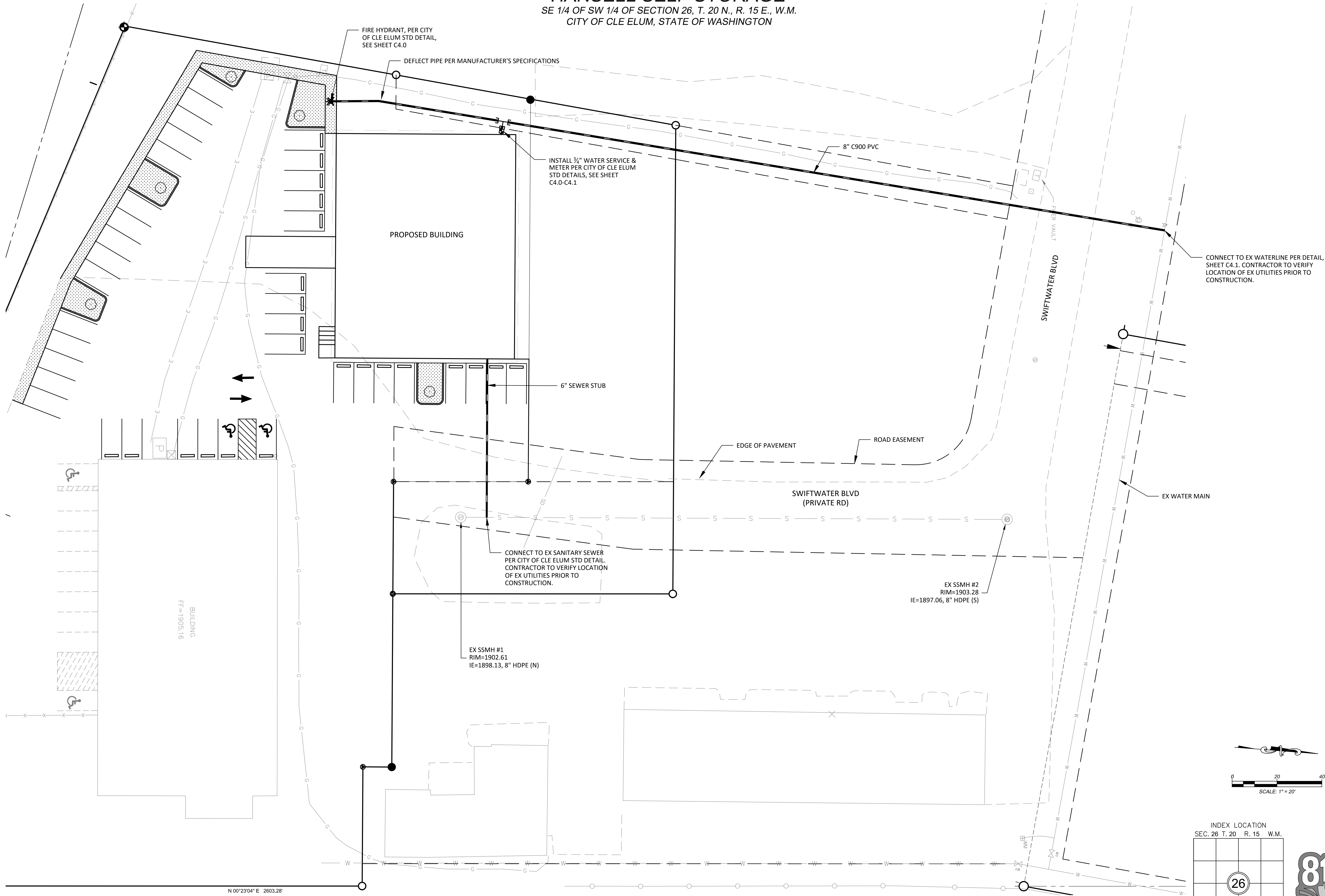


JOB NO. 20010
DATE NOV 2020
SCALE AS SHOWN
DESIGNED TJS
DRAWN TJS
CHECKED RBN
APPROVED RBN
SHEET C2.0

1/20/2020 1:55:16 PM GRADING PLAN SHEET 11/24/2020 1:55:16 PM



HANSELL SELF STORAGE
SE 1/4 OF SW 1/4 OF SECTION 26, T. 20 N., R. 15 E., W.M.
CITY OF CLE ELUM, STATE OF WASHINGTON

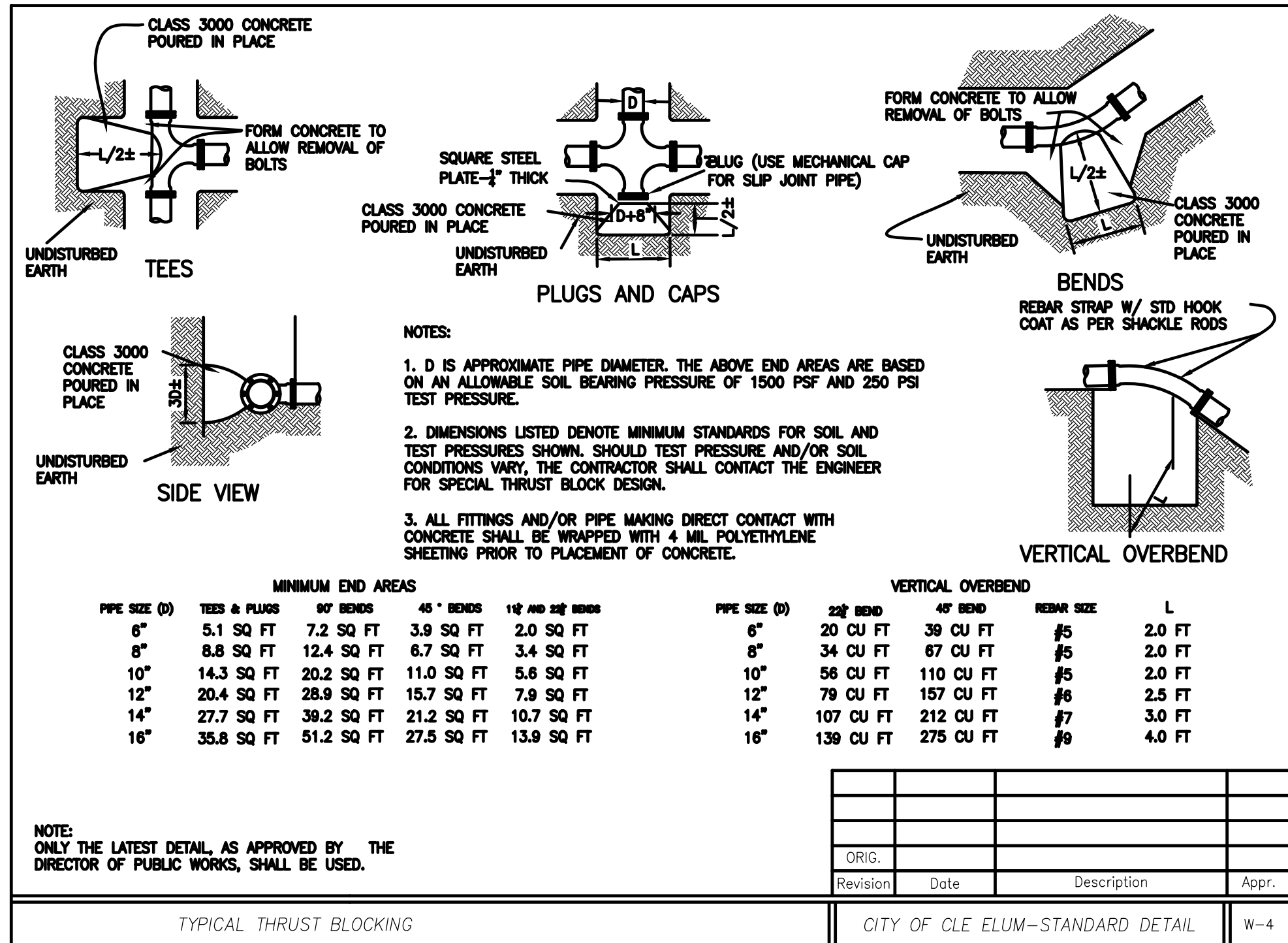
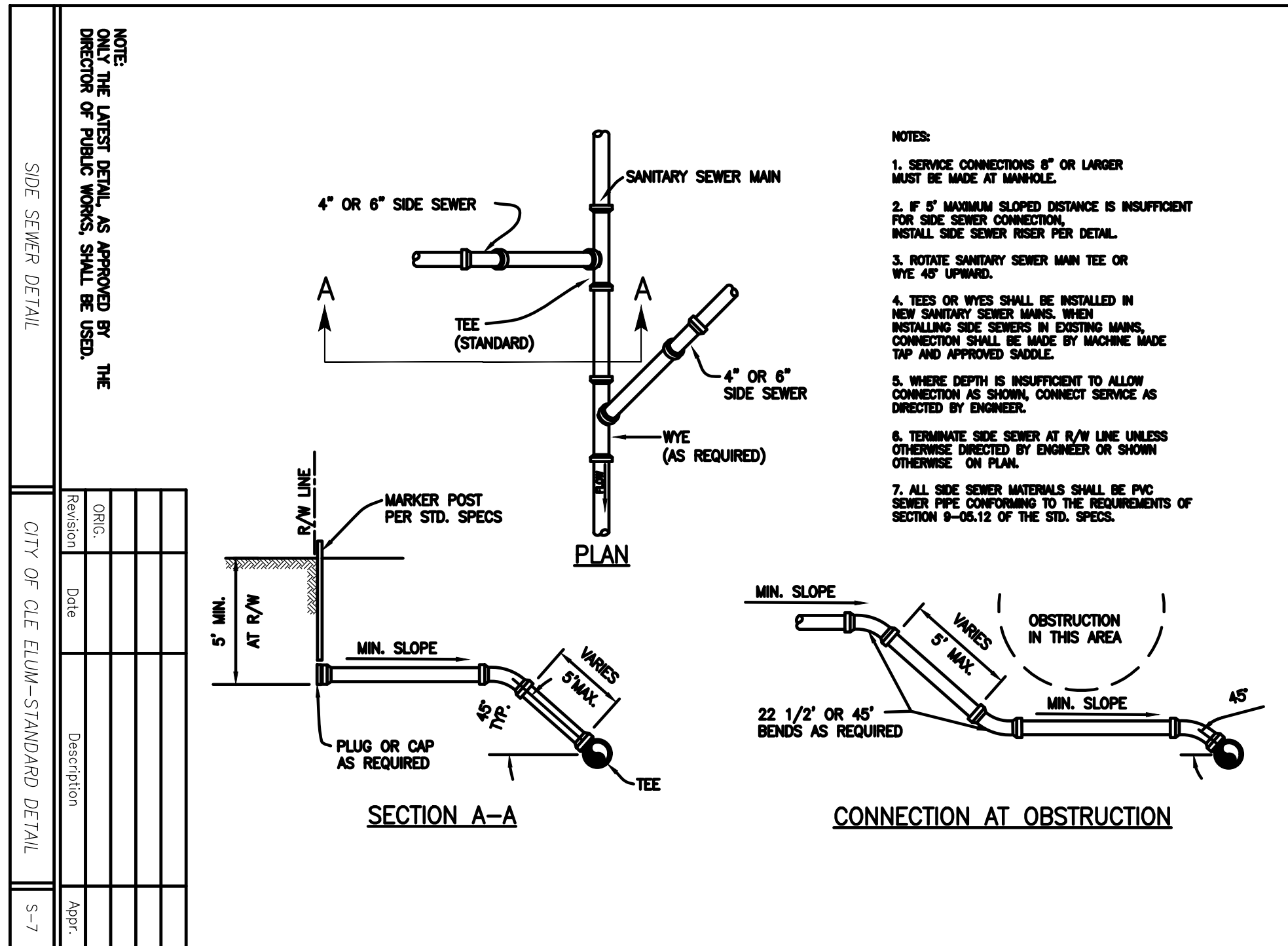
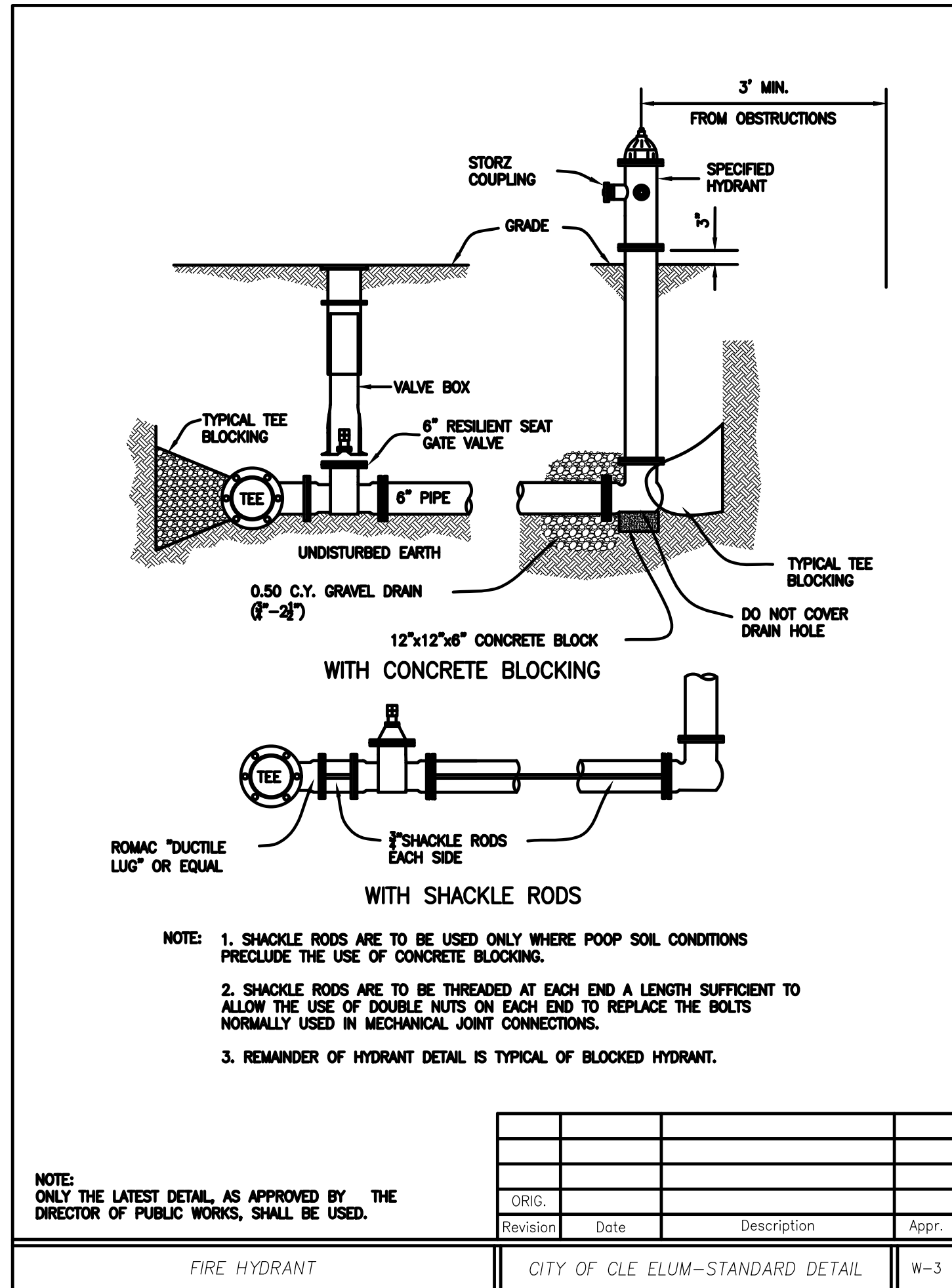
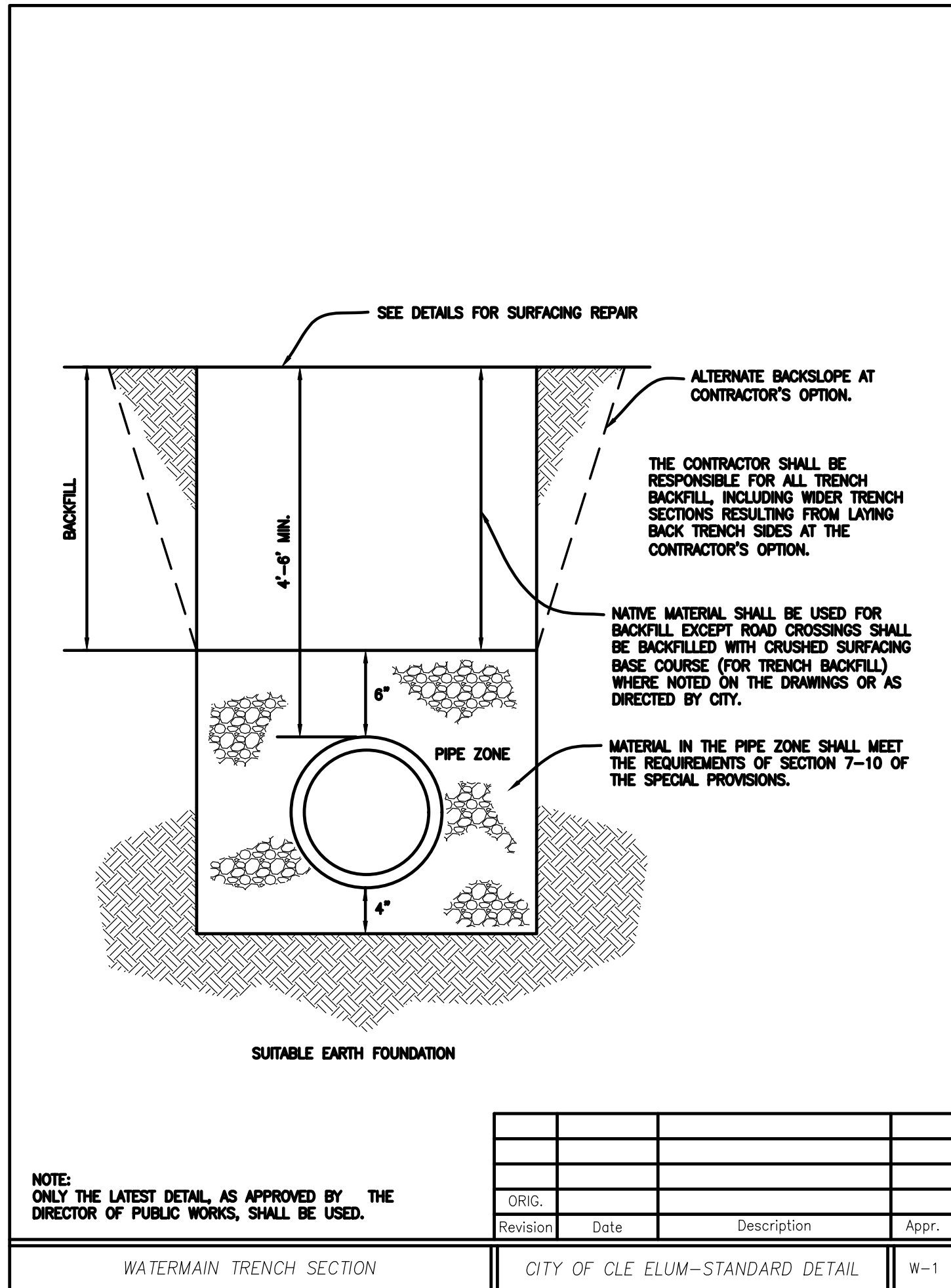
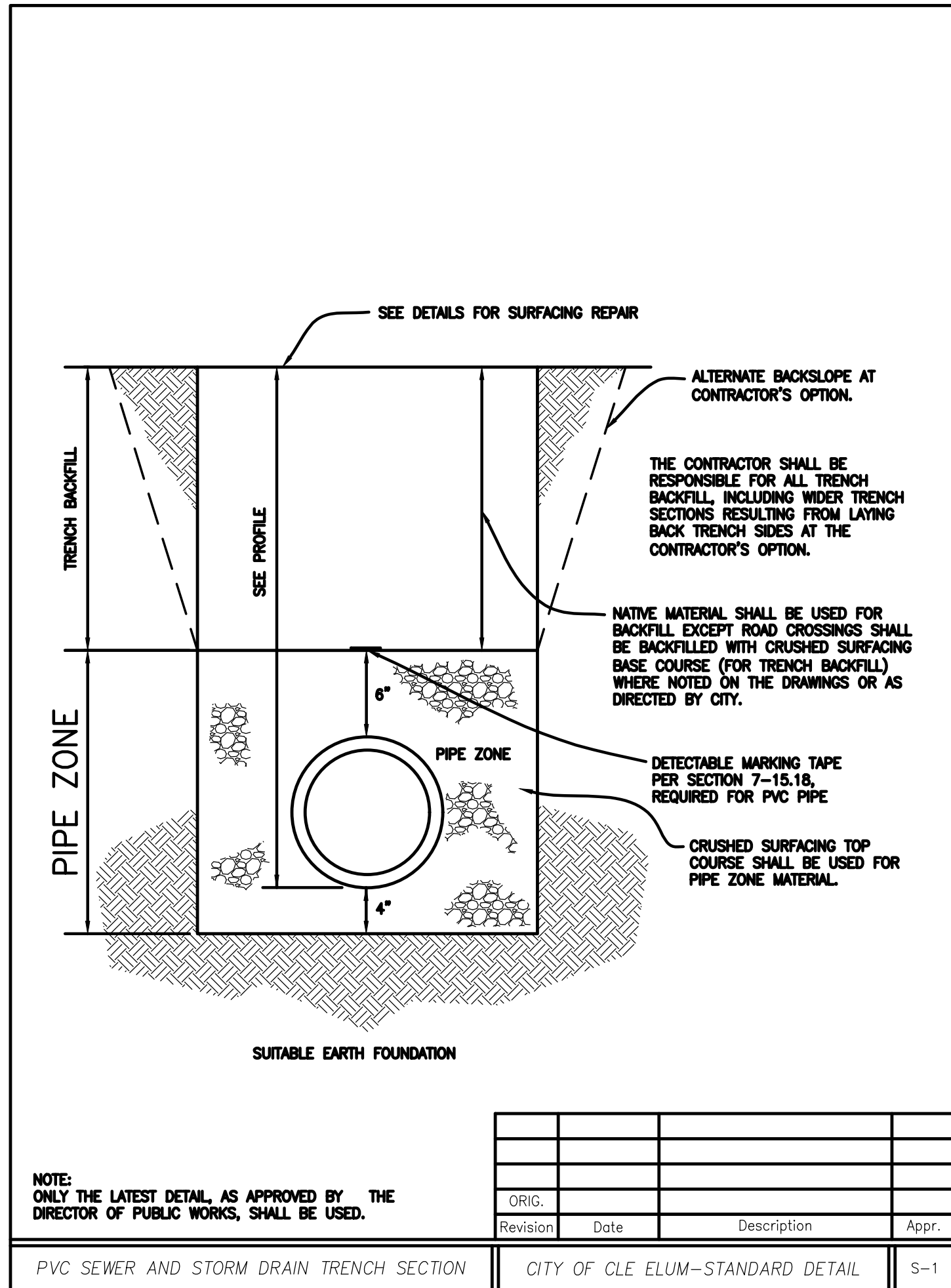


HANSELL SELF STORAGE
JEFF HANSELL
WATER & SEWER PLAN

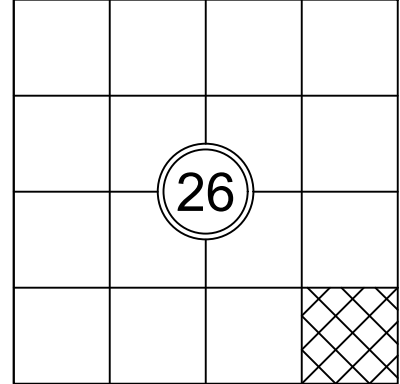
Encompass
ENGINEERING & SURVEYING
Western Washington Division
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250
407 Swiftwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433

JOB NO.	20010
DATE	NOV 2020
SCALE	AS SHOWN
DESIGNED	TJS
DRAWN	TJS
CHECKED	RBN
APPROVED	RBN
SHEET	C3.0

HANSELL SELF STORAGE
SE 1/4 OF SW 1/4 OF SECTION 26, T. 20 N., R. 15 E., W.M.
CITY OF CLE ELUM, STATE OF WASHINGTON



INDEX LOCATION
SEC. 26 T. 20 R. 15 W.M.



Know what's below.
Call before you dig.

REVISIONS	DESCRIPTION	BY	DATE



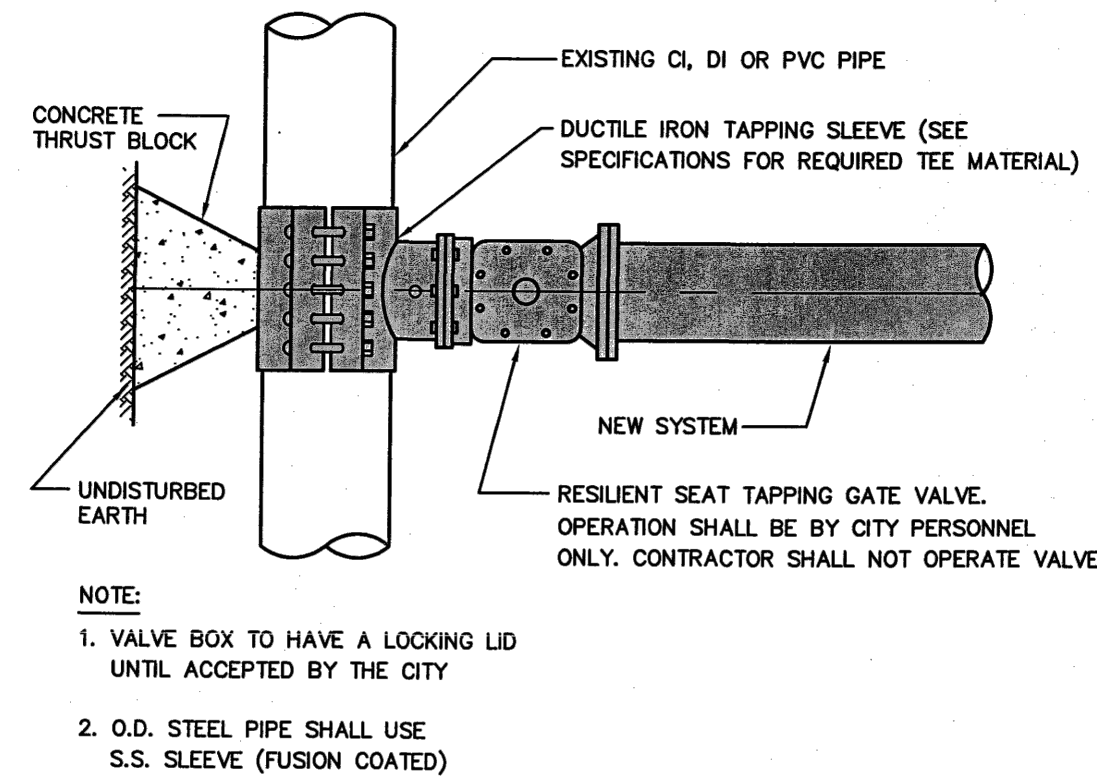
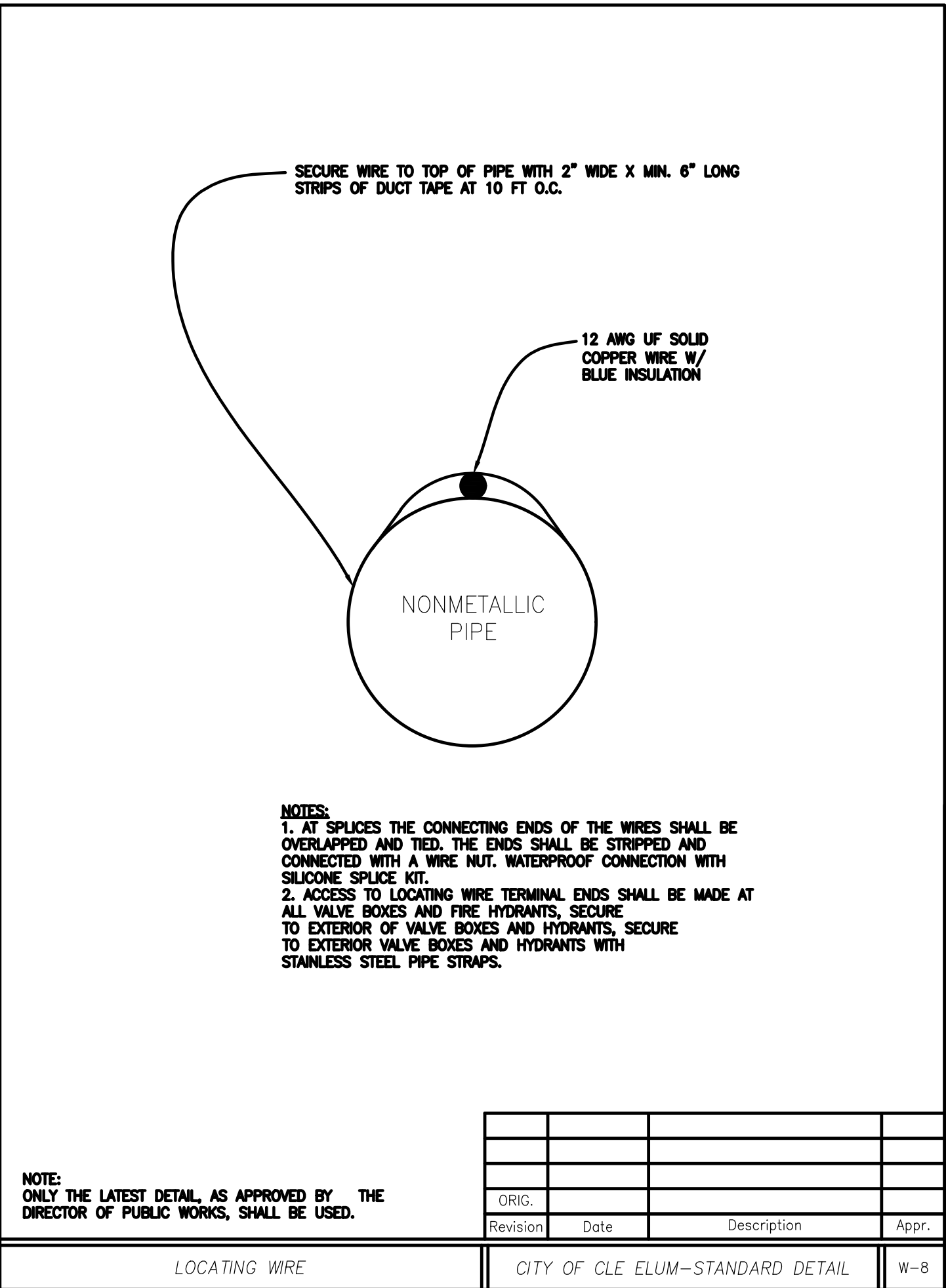
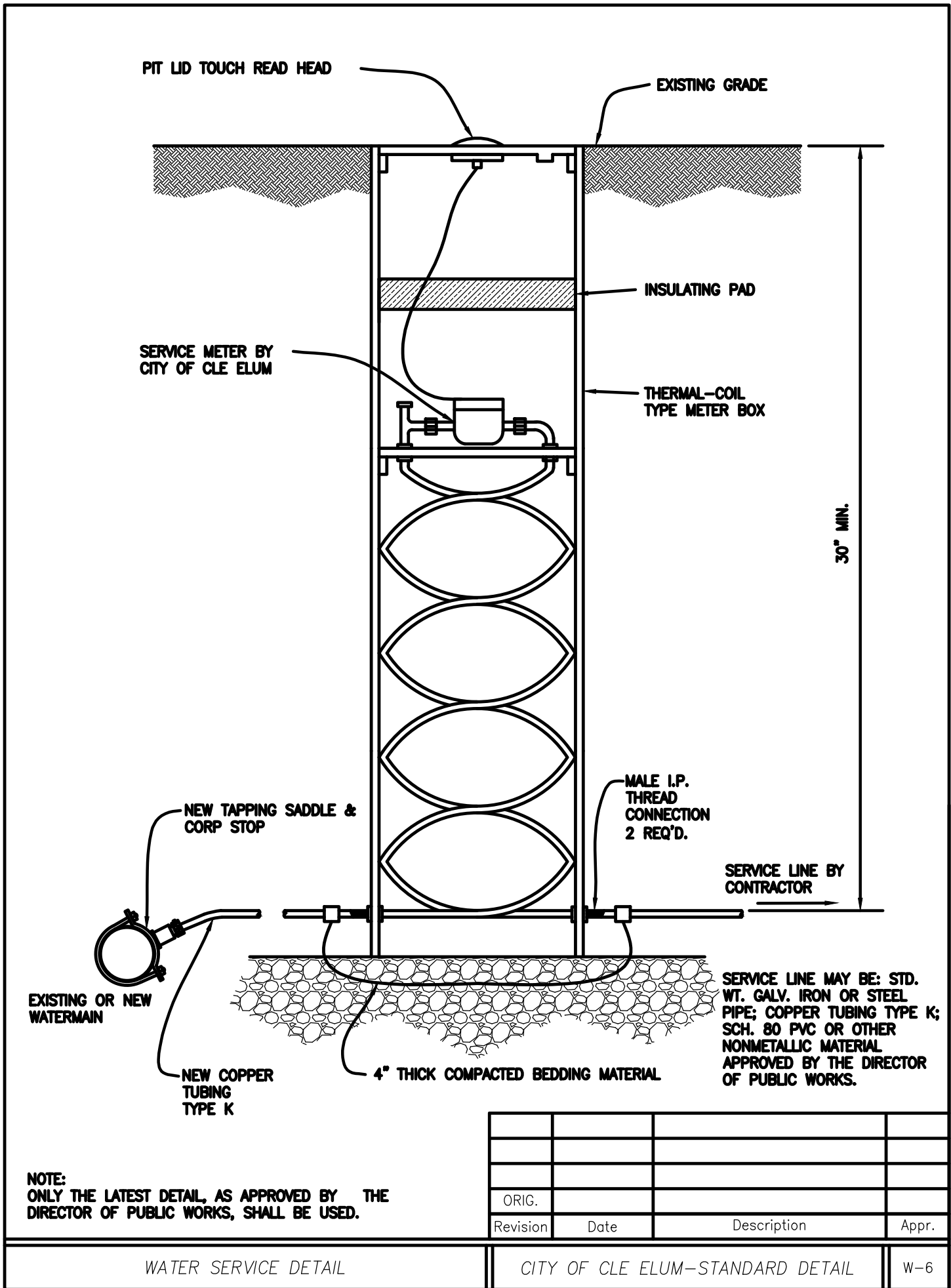
11/24/2020

HANSELL SELF STORAGE
JEFF HANSELL
NOTES & DETAILS

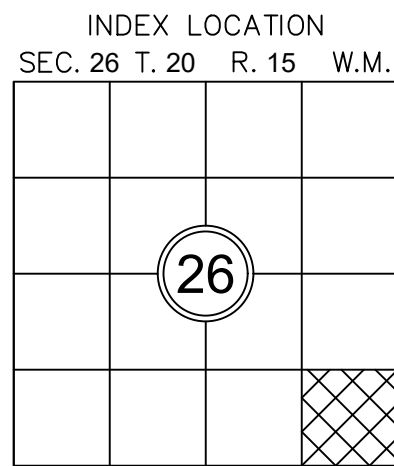
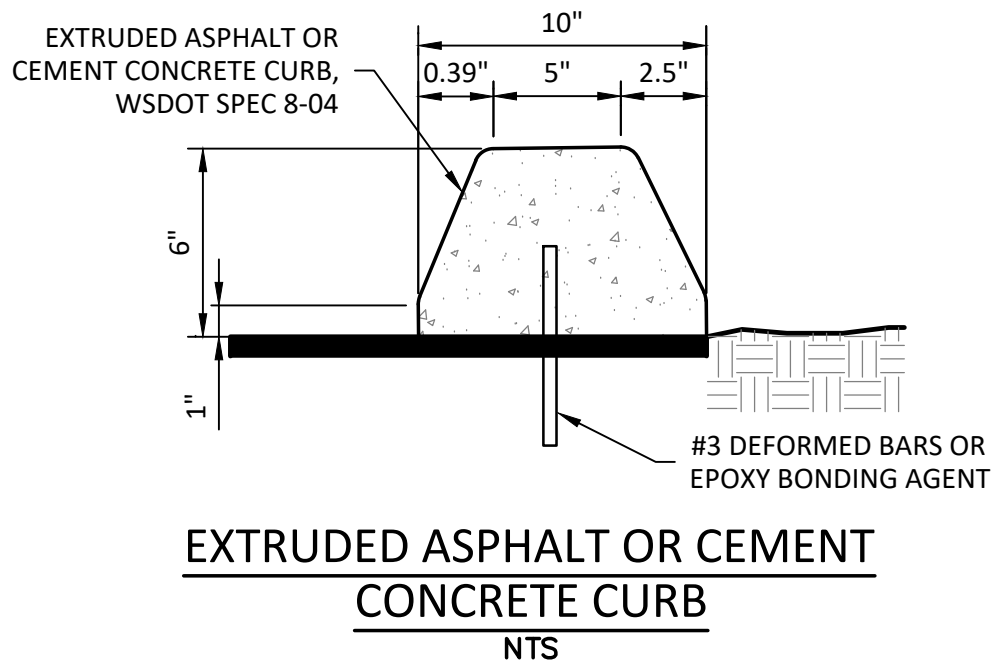
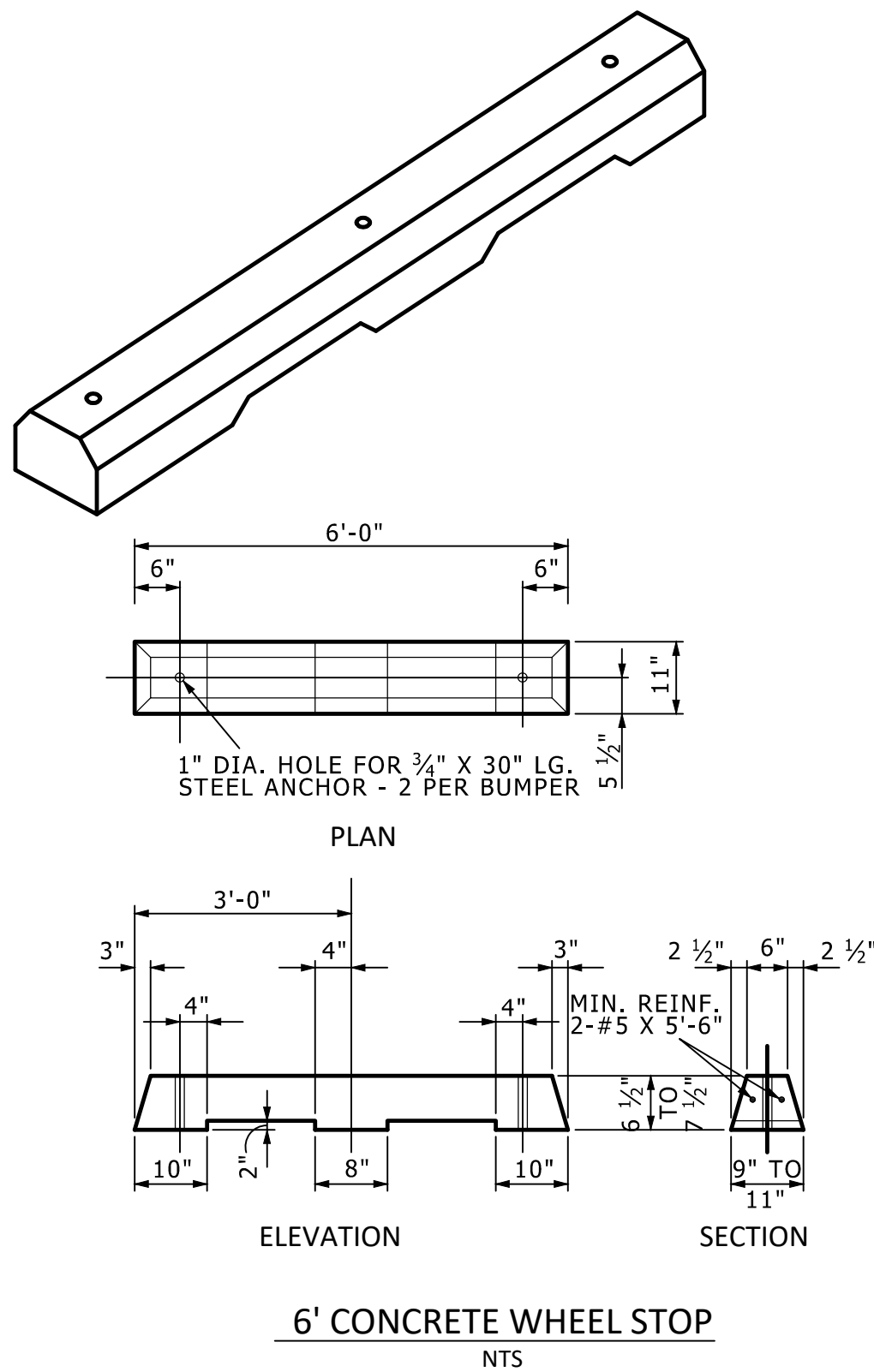
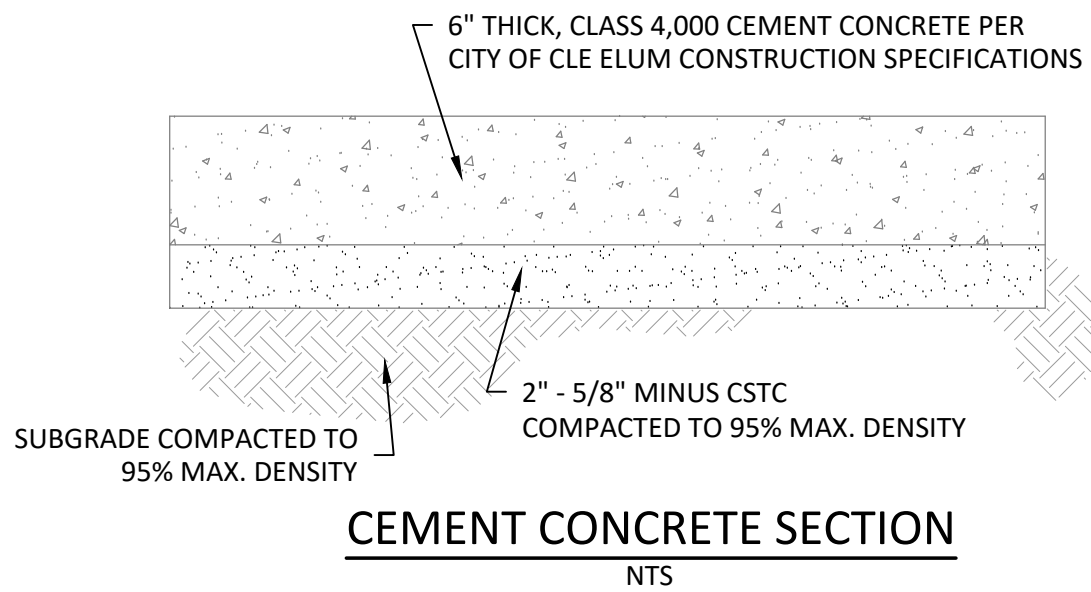
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JOB NO. 20010
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DRAWN TJS
CHECKED RBN
APPROVED RBN
SHEET C4.0

HANSELL SELF STORAGE
SE 1/4 OF SW 1/4 OF SECTION 26, T. 20 N., R. 15 E., W.M.
CITY OF CLE ELUM, STATE OF WASHINGTON



WET OR HOT TAP CONNECTION
NTS



HANSELL SELF STORAGE
JEFF HANSELL
NOTES & DETAILS



JOB NO.	20010
DATE	NOV 2020
SCALE	AS SHOWN
DESIGNED	TJS
DRAWN	TJS
CHECKED	RBN
APPROVED	RBN
SHEET	C4.1

EXHIBIT 2. LANDSCAPE PLAN

SE 1/4 OF SW 1/4 OF SECTION 26, T. 20 N., R. 15E., W.M.
CITY OF CLE ELUM, STATE OF WASHINGTON

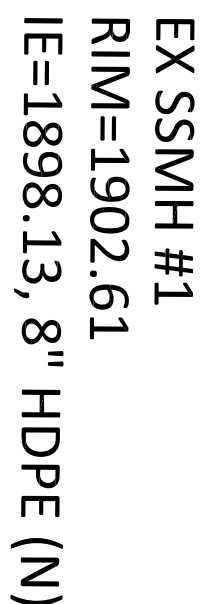
MAXIMUM SPACING OR TREES IN B-1 BUFFERS

5' B-1 LANDSCAPE BUFFER

PARKING LOT TREES

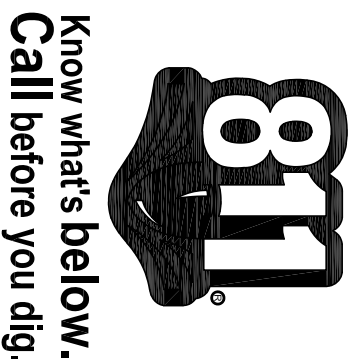
8 TREES PROVIDED

EXISTING TREES
TYPICAL



	Arctostaphylos uva ursi	Kinnikinnick
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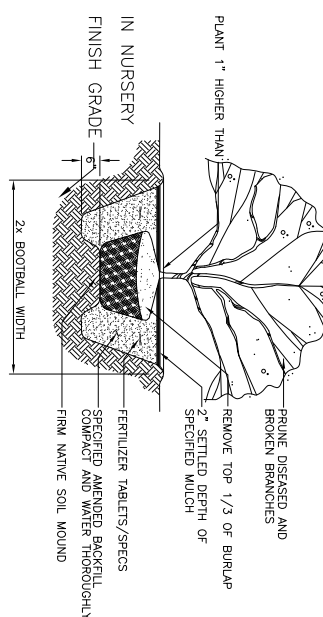
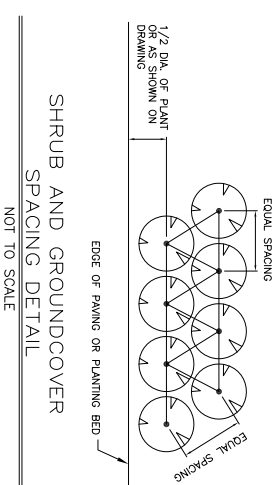
SCALE: 1"=20'-0"



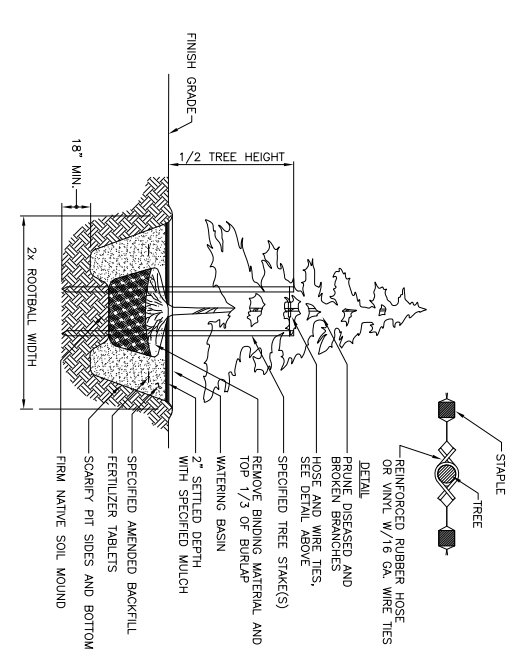
**Know what's below.
Call before you dig.**

IRRIGATION ASSESSMENT:
PROPOSED PLANTING ARE NATIVE AND DROUGHT TOLERANT SPECIES. AN IRRIGATION SYSTEM IS NOT REQUIRED FOR PLANT SURVIVAL. IT RECOMMENDED THAT NEW PLANTING BE HAND WATERED THROUGHOUT THE FIRST GROWTH SEASON.

1. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL OTHER SITE IMPROVEMENTS AND CONDITIONS PRIOR TO STARTING LANDSCAPE WORK.
 2. CONTRACTOR SHALL USE CAUTION WHILE DEAMING TO AVOID DISTURBING ANY UTILITIES ENCOUNTERED. CONTRACTOR IS TO NOTIFY THE POWER OWNER OF ANY SERVICE PITS. (LOCAL 2014-5559)
 3. CONTRACTOR SHALL MAINTAIN AND WATER ALL PLANT MATERIAL FOR 1 YEAR OR UNTIL FINAL INSPECTION AND ACCEPTANCE.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPUTING SPECIFIC QUANTITIES OF GROUND COVERS AND PLANT MATERIALS UTILIZING ON-CENTER SPACING FOR PLANTS AS SHOWN ON THE LANDSCAPE PLAN AND MINIMUM PLANTING DISTANCES AS SHOWN ON THE ON-CENTER SPACING FOR PLANTS AS SHOWN ON THE LANDSCAPE PLAN AND MINIMUM PLANTING DISTANCES AS SHOWN ON THE ON-CENTER SPACING FOR PLANTS AS SHOWN ON THE LANDSCAPE PLAN.
 5. GROUND COVERES SHALL BE PLANTED IN AN EQUIVALENT TRIANGULAR SPACING PATTERN AT THE ON-CENTER DISTANCES SHOWN MINIMUM PLANTING DISTANCES SHALL BE 12" FROM CENTER OF PLANT TO CURB SIDEWALK, ETC. MINIMUM PLANTING DISTANCE SHALL BE 24" FROM CENTER OF TREES AND SHRUBS.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUANTITIES OF PLANTS THAT ARE REPRESENTED BY SYMBOLS ON PLANS.
 7. SUBGRADE IS TO BE WITHIN 1/10TH OF ONE FOOT AS PROVIDED BY OTHERS. ALL PLANTING AREAS TO BE CLEARED OF ALL EXISTING MATERIAL, PLANTING MATERIAL, AND ROCKS AND STICKS LARGER THAN 2" IN DIAMETER.
 8. NEW BED AND HYDROSEED AREAS AS SHOWN ON THE PLANS, SHALL RECEIVE A MINIMUM OF 2" DEPTH "TEEDAR-GROVE" COMPOST.
 9. NEW BEDS TO RECEIVE A DEPTH OF 6" WITH AN ADDITIONAL 4" MINIMUM OF TOPSOIL IN ALL NEW BED AREAS.
 10. ALL PLANT MATERIAL SHALL BE FERTILIZED WITH AGRO TRANSPLANT FERTILIZER 4-2-2 PER
 11. ALL PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- A. GENERAL: ALL PLANT MATERIALS FURNISHED SHALL BE HEALTHY REPRESENTATIVES, TYPICAL OF THEIR SPECIES PROPRIETARY AND HAVE VIGOROUS, WELL-DEVELOPED ROOT SYSTEM BE PLANTING MATERIALS SHALL BE MAINTAINED UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCATION OF THE PROJECT.
 - B. TREES, SHRUBS, AND GROUNDCOVERS: QUANTITIES, SPECIES, AND VARIETIES, SIZES AND CONDITIONS AS SPECIFIED, INCLUDING, BUT NOT LIMITED TO, DISEASE, DEFECTS, AND ALL WEEDS. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT OR OWNER.
- CONTRACTOR TO PROVIDE A ONE-YEAR WARRANTY ON ALL PLANT MATERIAL.




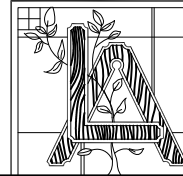
CONIFEROUS TREE PLANTING AND STAKING DETAIL
NOT TO SCALE



Revisions	By
-----------	----



STATE OF
WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT

BRUCE CAMERON LAMB



Lane & Associates
Landscape Architecture

13802 26TH AVENUE NW TULALIP, WA 98271 (425) 885-2319

HANSELL SELF STORAGE

JEFF HANSELL

LANDSCAPE PLAN

Date 12 - 8 - 2020
Scale AS NOTED
Drawn BCL
Job 312020
Sheet
LA-1
Of 1 Sheets

EXHIBIT 3. SITE AND DESIGN REVIEW APPLICATION (SDR-2020-005)

119 West First Street
Cle Elum, WA 98922
Telephone · (509) 674-2262
Fax · (509) 674-4097
www.cityofcleelum.com



Stamp & initial
Received electronically
on 10/21/2020
by Lucy Temple

SITE AND DESIGN REVIEW APPLICATION

This application is required for most non-single family development within the city.

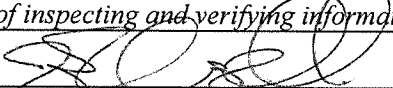
The purpose of this permit is to assist in regulating the grading, excavation and filling of land in order to minimize erosion and sedimentation of watercourses and wetlands, minimize the need for and maintenance of drainage facilities, minimize adverse effects on ground and surface waters, minimize their potential for earth slides and slippage, and maintain the maximum natural vegetation. See [CEMC 17.76](#) for additional information.

OFFICIAL USE ONLY	
Permit #:	SDR-20 20- 005
Staff Person:	
Fee Total:	
Related Permits:	

Applicant	
Name: Garnet Ledge Investments LP	
Mailing Address: PO Box 946, Roslyn, WA 98941	
Phone Number: 509-572-7721	Email: jeff@swiftwatercustomhomes.com
Property Owner <input type="checkbox"/> Same as Applicant <input type="checkbox"/>	
Name: Same	
Address:	
Phone Number:	Email:
Project Information	
Project Name: Swiftwater Site Plan	
Project Location Address: 400 Swiftwater Blvd, Cle Elum, WA 98922	
Assessor's Parcel No. 123134	Zoning: General Commercial
Description of project:	
<p>BUILDING AS PROPOSED IS 80'x100' PRE-MANUFACTURED STEEL BUILDING WITH GALV METAL SIDING AND METAL ROOF.</p> <p>BUILDING USE IS FOR A COMBINATION OF GENERAL HEATED STORAGE AND CLIMATE CONTROLLED STORAGE FOR THE SWIFTWATER WINDERY.</p> <p>1 THERE WILL BE 2 RESTROOMS INSIDE OF THE HEATED STORAGE AREA.</p>	

Site and Design Review Application Criteria ¹	
1.	Written narrative description of-uses, types of structures proposed, hours of operation, abutting properties, proposed access, frequency of deliveries, and construction schedule, including any proposed phasing of development
2.	Two hard copies and one electronic copy (PDF) of an existing conditions plan drawn to a minimum scale of one inch equals two hundred feet on a sheet no larger than twenty-four inches by thirty-six inches and including one reduced size copy no larger than legal size. The existing conditions plan shall contain the following features
a.	The subject property boundaries
b.	Dimensions and size
c.	Current structural or landscape setbacks
d.	Location of existing on-site driveways and access points within one hundred feet of the subject site
e.	Location and dimension of any on-site structures
f.	Location of utilities
g.	Location of the nearest fire hydrant
h.	Location of existing structures within one hundred feet of the site
i.	Locations and dimensions of adjacent public or private roads and right-of-way or easements
j.	Approximate location of significant natural features including slopes over twenty-five percent, waterbodies, rock outcrops, wetland areas, areas of significant vegetation, the location of trees or groups of trees over six inches in diameter, and the location of any critical areas
3.	Two hard copies and one electronic copy (PDF) of a site plan drawn to a minimum scale of one inch equals two hundred feet on a sheet no larger than twenty-four inches by thirty-six inches and including one reduced size copy no larger than legal size. The site plan shall contain the following information:
a.	The subject property boundaries
b.	Dimensions and size
c.	Location
d.	Dimensions and height of all proposed structures
e.	Location of building accesses
f.	Proposed setbacks

	g.	Proposed phasing
	h.	Proposed landscaping
	i.	Location and dimensions of vehicle and pedestrian access points and circulation routes
	j.	The location of all proposed on-site parking including provisions for handicap parking
	k.	Any easements
	l.	The location of any proposed lights, and any other proposed site improvements
4.	Two hard copies and one electronic copy (PDF) of proposed architectural elevations.	
5.	Preliminary grading, erosion control and stormwater plan	
6.	Preliminary utility plan	
7.	Any other items that are necessary to review the proposed development	
8.	Payment of a fee that is consistent with the City of Cle Elum’s fee schedule	
Decision Criteria		
1.	In conducting the design review process, it shall be the responsibility of the planning director or designee to review designs for compliance with all the provisions of the zoning code and any other applicable regulations that affect the design of a development.	
2.	In reviewing design plans the planning director shall consider the following standards have been met. This section does not list all the standards against which the application will be reviewed, the following are listed to indicate the various requirements of development. Failure to comply with – the listed requirements or other requirements not listed here shall be ground for denial of design review approval.	
	a.	The proposed use is permitted within the zoning district in which it is located.
	b.	The proposed design meets the dimensional requirements of the zoning district including lot, yard, building, height and other requirements.
	c.	The proposed design meets landscaping, screening and buffering standards of CEMC 17.64 .
	d.	The proposed design meets the off-street parking and loading requirements of CEMC 17.56 .
	e.	The standards of CEMC 18.01 , maintenance, enhancement and preservation of critical areas are met.
	f.	Public improvements are completed in compliance with applicable code sections.
	g.	Adequate and safe provisions are made for pedestrian and vehicle access.

	h.	All conditions of applicable previous approvals (SEPA review, CUP, rezones) are met.
	i.	All applicable conditions and criteria found in other Cle Elum Municipal Code titles are met.
Authorization		
<p><i>The undersigned hereby certifies that this application has been made with the consent of the lawful property owner(s) and that all information submitted with this application is complete and correct. False statements, errors, and/or omissions may be sufficient for denial of the request. This application gives consent to the City to enter the properties listed above for the purposes of inspecting and verifying information presented in this application. The applicant further agrees to pay all fees specified in the City's fee schedule for the permit and expenses associated with the review of the application. The applicant gives consent to the City to enter the property(s) listed above for the purpose of inspecting and verifying information presented in this application.</i></p>		
Applicant Signature: 		Date: 7/21/20

1. The application will not be processed and deemed incomplete if not all required criteria is not attached to application on the day of submission. The Planner may chooses to wave some of the required criteria. If any of the required criteria is provided in another permit please cite that permit.

NARRATIVE:

This project is located within the Swiftwater Business Park in Cle Elum, WA. The existing site currently contains a 24,000 sf building that was constructed in the mid 2000s. The existing building has a variety of business listed here:

- 1- Swiftwater Fitness
 - a. Workout Facility
 - b. Childcare area
 - c. Tanning Salon
- 2- Swiftwater Beauty Lounge
- 3- Unfiltered Nails
- 4- Swiftwater Technology
- 5- Swiftwater Custom Homes
- 6- Resort Maintenance Services

During the late 2000s, the Swiftwater Business Park applied and approved for an overall "Site and Design Review Application", Rezone Application from Industrial to General Commercial, and SEPA MDNS. In 2020 the applicant was approved for a boundary line adjustment to enlarge the existing parcel as currently shown. The applicant and the City of Cle Elum recently conducted a pre-application meeting to discuss the next phase of development. We believe this new project is in general conformance with all the previous applications and SEPA MDNS.

The applicant is submitting for City review and approval the following permits:

- Site & Design Review Application
- Floodplain Development Permit Application
- Building Permit Application
- Update SEPA application per City's request

The proposed work includes an 8,000 sf pre-manufactured steel building to be operated as a climate controlled and dry storage wine storage facility, including approximately 43 new or adjusted parking spaces. The site may include in the future a small bottling line in the dry storage area. The applicant anticipates, on average, one delivery a week with 3-4 employees assisting loading and unloading. The site plan design was not only to accommodate the needs of the proposed building, but to also provide additional parking for the existing building and businesses. We roughly show a total of 61 parking stalls in total for the property. The enclosed plans also address sewer, water, and stormwater needs.

City of Cle Elum
119 West First Street
Cle Elum, WA 98922



Telephone: (509) 674-2262
Fax: (509) 674-4097
www.cityofcleelum.com

**Garnet Ledge Investments LP
SITE & DESIGN REVIEW, FLOODPLAIN PERMIT, AND
STATE ENVIRONMENTAL POLICY ACT (SEPA) CHECKLIST
COMPLETENESS REVIEW
NOVEMBER 18, 2020**

Determination of Completeness

On October 21, 2020, the City of Cle Elum received an electronic application package including a Site & Design Review, Floodplain, and SEPA Checklist from Garnet Ledge Investments LP for a commercial storage facility located at 400 Swiftwater Blvd. The City has conducted a completeness review of the application package per Cle Elum Municipal Code (CEMC) [17.100.060](#) and has determined there is information missing from the Site & Design Review and Floodplain applications as detailed below. However, due to the type of information missing and the understanding by the City that the required requested information will be provided in a timely manner, these applications are being deemed complete, contingent upon receiving required information as soon as possible. Please see "Notification" at the end of this document. If the information is received by 5pm on Tuesday, November, 24, 2020, the notifications will be sent to the newspaper the same evening and the 14-day comment period will be Wednesday, November 18, 2020 to Wednesday December 9, 2020. Please communicate promptly with the City Planner if any of the required requested information will not be available and accommodations may be possible to meet the publication deadline above. Otherwise, the notification process will begin the Tuesday following the City receiving all required information.

Site & Design Review (SDR-2020-005) – Missing information

Site & Design Review (SDR) criteria for approval are found in [CEMC 17.76.040\(F\)](#) and [CEMC 17.76.050](#), which may include references to other code sections that require compliance, such as the landscaping or off-street parking codes. Below is a list of information required by [CEMC 17.76.040\(B\)](#) for SDR applications that was not received with the application.

- Proposed hydrant shown. Mark next nearest hydrant(s) on existing conditions plan or map. **ADDED**
- Dimensions and size of the parcel **ADDED**
- Height of proposed structure **ADDED**
- Location of building accesses **WAITING FOR BUILDING PLANS, WILL ADD IN NEAR FUTURE**
- Location of any proposed lighting **NO LIGHTING PROPOSED**
- Onsite driveway and access points within 100 ft **ADDED**
- Location and dimensions of vehicle and pedestrian access points and circulation routes
 - See also [CEMC 17.76.050\(A\)](#) **N/A NOT A PUBLIC STREET**
- Any easements on the property **ADDED**
- Trees over 6" dbh (see also landscaping – "significant trees" below) **ADDED**
- Submitted plans show landscaping islands but do not show any proposed landscape setbacks/buffers ([CEMC 17.76.040\(B\)\(2\)](#)) **ADDED**
 - Perimeter Landscaping ([CEMC 17.64.050\(A\)](#)) **ADDED**
 - Will not count towards the 10% required landscaping.

- Proposed Landscaping **IN PROCESS OF RETAINING LANDSCAPE ARCHITECT, LANDSCAPE PLAN TO FOLLOW IN NEAR FUTURE**
[CEMC 17.64.030](#) - *No building permit or clearing and grading permit shall be issued where landscaping is required until a landscaping plan has been submitted to, and approved by, the city. The landscape plan shall include identification and provisions for any existing “significant trees” and any required street trees, as well as other landscaping requirements.*
 - Landscaping shall make up 10% of the parking area. Show the ratio (%) of impervious surface to landscaping (not counting perimeter landscaping – [CEMC 17.64.050\(B\)](#)). **ADDED MORE LANDSCAPING, SEE TABLE SHEET C2.0**
 - Location and plan for all existing significant trees, which have an 8” diameter at breast height (dbh) and are located within a critical area ([CEMC 17.64.040](#)). The entire site is a critical area, so this applies to all trees over 8” dbh. **ADDED NOTE SHEET C1.0**

Floodplain (FP-2020-003) – Missing information

The Floodplain Permit application is missing information.

- Show floodplain on existing conditions plan **ADDED NOTE SHEET C0.0, C1.0**
- [CEMC 15.24.110\(B\)](#) – Application for Development Permit
 - What is the elevation in relation to mean sea level of the lowest floor (including basement) of all structures? **SEE SHEET C2.0**
 - If applicable, we will need the elevation in relation to mean sea level to which any structure has been floodproofed, and certification by an engineer that the floodproofing methods meet floodproofing criteria in [CEMC 15.24.150\(B\)](#).
- Please submit an elevation certificate. **SURVEY SCHEDULED FOR NEAR FUTURE**

SEPA (SEP-2020-007) – Complete

The SEPA Checklist is complete. The threshold is anticipated to be a Determination of Nonsignificance (DNS), since there is no indication of significant impacts requiring mitigation.

- Attached SEPA Checklist includes comments. It would be appropriate to include these comments in the final version I submit to the state.
 - The SEPA comments include reference to an inadvertent discovery plan which will be provided to you with your permits. You will need to include the project-specific information, provide me a copy, and keep it onsite at all times during construction.
- Notification**
 - The City will use the Optional DNS Process per [WAC 197-11-355](#) to combine the SEPA comment period with the notice of application (NOA), which is also preferred under [CEMC 15.28.200\(D\)](#).
 - Notification will follow [CEMC 15.28.200\(B\)\(1\)](#).
 - Posters will be provided to the applicant which will need to be posted along/adjacent to Oakes Avenue (public right of way), Swiftwater Blvd., and on the subject property visible from the roadways and adjacent buildings.

December 18, 2020

To: Lucy Temple, City Planner
Rob Omans, Administrator/Building Official
City of Cle Elum
119 West First Street
Cle Elum, WA 98922

Re: Proposed Storage Building
Responses to CEMC 17.76.050 B-E

Lucy & Rob:

Thank you both for your efforts to help us get our Building Permit Issued. You have asked for some clarification on Items B-E in the Cle Elum Municipal Code (17.76.050).

Here are our responses:

17.76.050 B: The only ground level equipment we anticipate on site will be the condenser units for the Building's HVAC system. We plan on building a screen fence around these units that will be painted to match the building. Location of HVAC units TBD depending on final design.

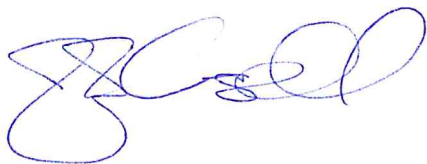
17.76.050 C: A storage area for garbage and recycling will be provided at the location noted on the attached site plan. The storage area will be screened by a wall & gate and will be painted to match the adjacent building.

17.76.050 D: The predominant building material will be painted metal panels that are similar in nature to several of the surrounding buildings and other buildings within sight of the proposed structure. The visible roof will be metal. There are no flat roofs or Mansard style roofs proposed.

17.76.050 E: There are no outdoor storage or display of materials planned for the proposed building.

We appreciate the collective effort by you and your staff with our new project. We look forward to being a positive addition to the City of Cle Elum.

Regards,

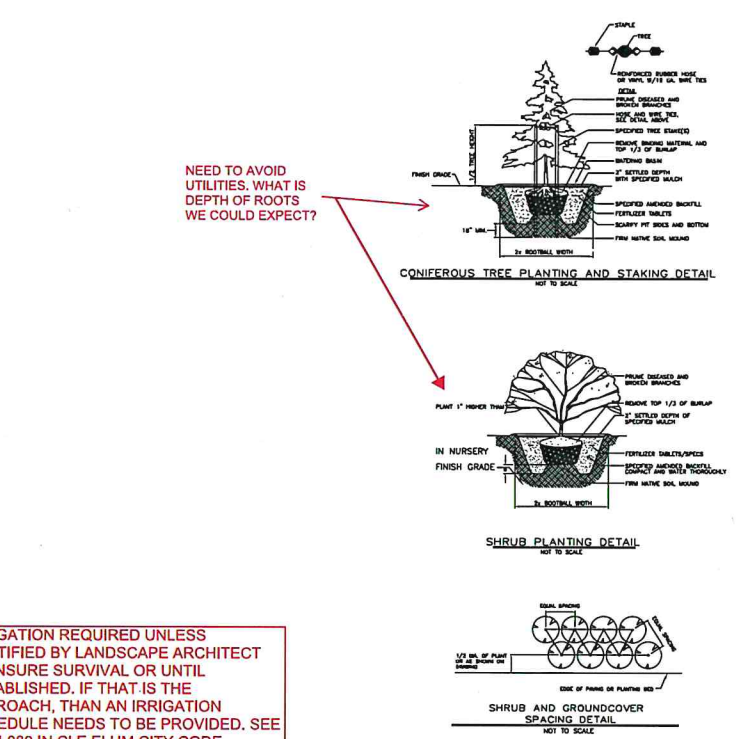
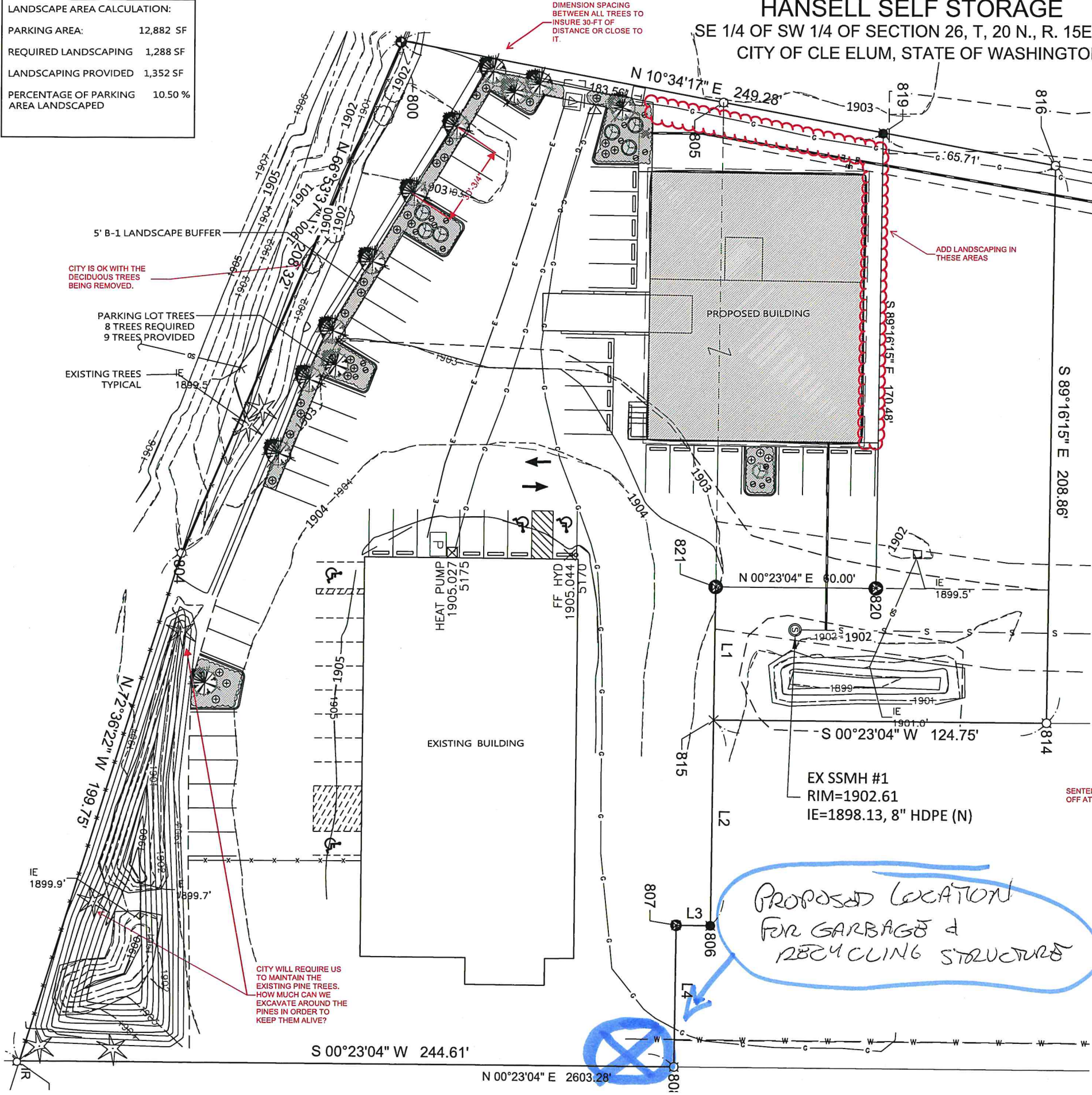


Jeff Hansell
Agent for Garnet Ledge Investment LP

LANDSCAPE AREA CALCULATION:	
PARKING AREA:	12,882 SF
REQUIRED LANDSCAPING	1,288 SF
LANDSCAPING PROVIDED	1,352 SF
PERCENTAGE OF PARKING AREA LANDSCAPED	10.50 %

HANSELL SELF STORAGE SE 1/4 OF SW 1/4 OF SECTION 26, T, 20 N., R. 15E., W.M. CITY OF CLE ELUM, STATE OF WASHINGTON

PLANT SCHEDULE				
BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
TREES				
Acer circinatum	Vine Maple	7	8' ht	B4B, FULL, MIN. 3 STEMS.
Tsuga mertensiana	Mountain Hemlock	12	6' ht	B4B, FULL & MATCHING
SHRUBS				
BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
Potentilla fruticosa	Bush Cinqufoil	28	2 GAL.	FULL, COMPACT
GROUNDCOVERS				
BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
Cornus canadensis	Canadian Bunchberry	384	4" pots	FULL, COMPACT, PLANT 30" on-center
Mahonia nervosa	Cascade Mahonia	16	1 GAL.	FULL, COMPACT



LANDSCAPE PLAN

SCALE: 1"=20'-0"

0 20' 40' 80'

811

Know what's below.
Call before you dig.

By

Revisions

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
BRUCE CAMERON LANE
CERTIFICATE No. 375

Lane & Associates
Landscape Architecture

HANSELL SELF STORAGE
JEFF HANSELL

LANDSCAPE PLAN

Date
12-18-2020

Scale
AS NOTED

Drawn
BCL

Job
312020

Sheet
LA-1

of 1 Sheets

EXHIBIT 4. STATE ENVIRONMENTAL POLICY ACT (SEPA) PACKAGE (SEP-2020-007)

CITY OF CLE ELUM

119 W. First Street

Cle Elum WA 98926

In the matter of City of Cle Elum SEPA-2020-007, SDR-2020-005, and FP-2020-003

AFFIDAVIT OF MAILING

STATE OF WASHINGTON)

) ss.

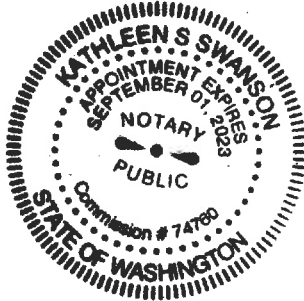
County of Kittitas)

The undersigned being first duly sworn on oath states:

That on the 2nd day of December, 2020, City Planner Lucy Temple posted onsite the attached poster in at least two visible places on the property and along Oakes Ave where the private Swiftwater Blvd meets the public right of way, and distributed via U.S. Mail the attached distribution letter, vicinity map, and combined notice of application, to the attached hard copy mailing list, and by email to the attached email list, sent the distribution letter, combined notice, and SEPA Checklist for the Garnet Ledge Investments LP proposed wine storage facility in the Swiftwater Business Park.

Signature: 

SUBSCRIBED AND SWORN TO before me, this 4th day of December, 2020.




Notary Public in and for the State of Washington

My commission expires: 9/1/2023

Lucy Temple

From: Terry Hamberg <terry@nkctribune.com>
Sent: Tuesday, December 1, 2020 6:00 PM
To: Lucy Temple
Subject: Re: Cle Elum Legal Notice

Importance: High

CONFIRMATION RECEIPT:

Thank you for sharing your Notice with Upper Kittitas County citizens. We have received your email and your notice will be published as requested.

Sincerely,
Terry Hamberg
Publisher



Northern Kittitas County Tribune
P.O. Box 308
Cle Elum, WA 98922
(509) 674-2511
fax: (509) 674-5571
tribune@nkctribune.com

On Dec 1, 2020, at 5:33 PM, Lucy Temple <ltemple@cleelum.gov> wrote:

Hello everyone. I hope you had a great Thanksgiving holiday.

I have attached a rather lengthy legal notice that I would like placed in the 12/3 and 12/10 legal sections.

Thanks a lot. Please respond with confirmation.

Lucy Temple, Planner

<image001.jpg>
119 West First Street
Cle Elum, WA 98922
(509) 674-2262 x102
www.cityofcleelum.com

Lucy Temple

From: Lucy Temple
Sent: Tuesday, December 1, 2020 5:33 PM
To: Jana Stoner; Terry Hamberg
Cc: Kathi Swanson; Jim Fossett
Subject: Cle Elum Legal Notice
Attachments: 20-1202_OptionalDNSProcess-CombinedNotices.docx

Importance: High

Hello everyone. I hope you had a great Thanksgiving holiday.

I have attached a rather lengthy legal notice that I would like placed in the 12/3 and 12/10 legal sections.

Thanks a lot. Please respond with confirmation.

Lucy Temple, Planner



119 West First Street
Cle Elum, WA 98922
(509) 674-2262 x102
www.cityofcleelum.com

W L CLARK FAMILY LLC
480 RIVER RANCH LANE
CLE ELUM, WA 98922-8494

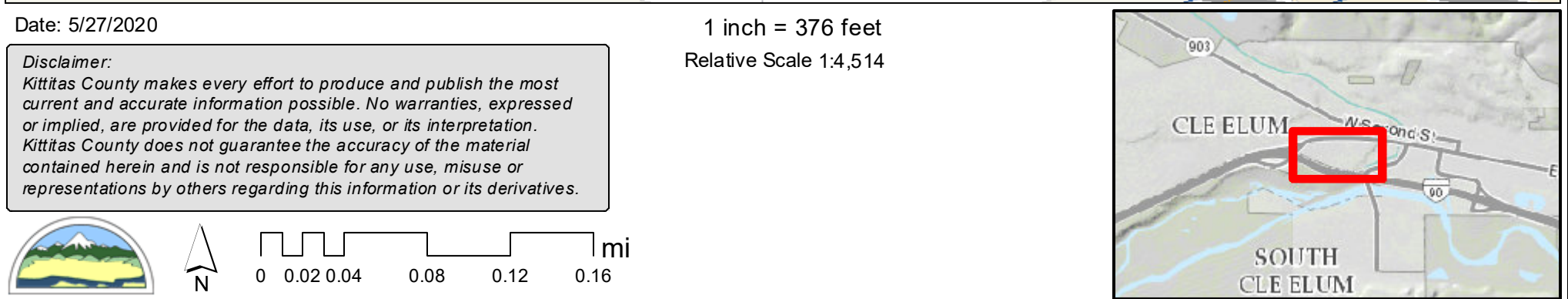
BNSF RAILWAY COMPANY
PO BOX 961089
FORT WORTH, TX 76161-0089

GARNET LEDGE INVESTMENTS LP
PO BOX 946
ROSLYN, WA 98941-0946

WALCH, MIKE ETUX
16131 SE GREEN VALLEY RD
AUBURN, WA 98992

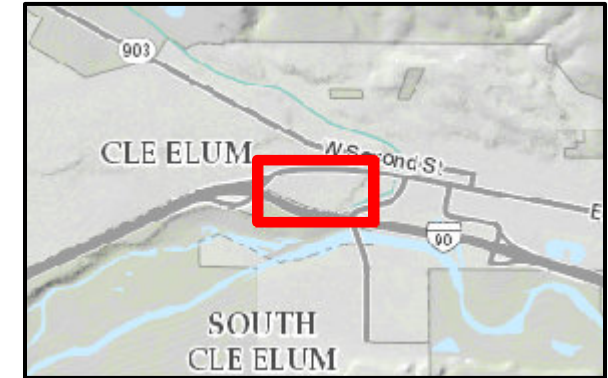
CLARK, KERRY
411 SWIFTWATER BLVD STE 110
CLE ELUM, WA 98922-1148

Hospital District Mailing Map



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1 inch = 376 feet
Relative Scale 1:4,514



Garnet Ledge - SDR-2020-005; FP-2020-003; SEP-2020-007

SEPA - Agency email list

jim@nkctribune.com; jmcgowan@cleelum.gov; romans@cleelum.gov; emills@cleelum.gov;
kbland@cleelum.gov; [mengelharts@cleelum.gov](mailto:mengelhart@cleelum.gov); kswanson@cleelum.gov; Planning Commission;
iglondo@cleelum.gov; kratliff@cleelum.gov; bwilliams@cleelum.gov; sharper@cleelum.gov;
mlundh@cleelum.gov; rweaver@cleelum.gov; mholz@cleelum.gov; planner@ci.roslyn.wa.us;
townofsouthcleelum@gmail.com; sce@inlandnet.com; Bocc@co.kittitas.wa.us;
laura.osiadacz@co.kittitas.wa.us; planning@co.kittitas.wa.us; sepa@dahp.wa.gov;
sepadesk@dfw.wa.gov; Jennifer.Nelson@dfw.wa.gov; sepaunit@ecy.wa.gov; separegister@ecy.wa.gov;
sandra.floyd@ecy.wa.gov; sepacenter@dnr.wa.gov; GonsetP@wsdot.wa.gov; PrilucJ@wsdot.wa.gov;
ccamuso@yakama.com; Noah_Oliver@Yakama.com

COMMUNITY

Northern Kittitas County Tribune – Reporter, Jim Fossett

LOCAL

Cle Elum

Mayor Jay McGowan

City Administrator Robert Omans

Cle Elum Fire Dept Chief Ed Mills

Cle Elum Police Dept Chief Kirk Bland

Public Works Director Mike Engelhart

City Clerk Kathi Swanson

Planning Commission (Group Email)

City Council – *emails (hard copy also to Councilmember Holz)*

Other Cities

City of Roslyn – Planner, Michelle Geiger

Town of South Cle Elum – Staff, Dora Bannister

COUNTY

Board of County Commissioners, General email

Commissioner; District #2 - Laura Osiadacz

Community Development Services (Planning), General email

STATE

DAHP – SEPA Review

WDFW – SEPA Review; Area Habitat Biologist, Jennifer Nelson

Ecology – SEPA Review; SEPA Register; Floodplains, Sandra Floyd

DNR SEPA Center

WSDOT – Paul Gonseth, Planning Engineer; Jacob Prilucik, Asst. Planning Engineer

TRIBE

Yakama Nation – Cultural Resources Program, Noah Oliver

Yakama Nation – Cultural Resources Program, Corrine Camuso

Lucy Temple

From: Lucy Temple
Sent: Wednesday, December 2, 2020 9:43 AM
To: Lucy Temple
Subject: Cle Elum SEPA - Optional DNS Process
Attachments: 20-1202_OptionalDNSProcess-CombinedNotices.pdf; 20-1021_SEPA-LT Notes.pdf

Hello Regulators and Stakeholders.

The City of Cle Elum has issued a combined Notice of Application under the Optional DNS Process provided for in WAC 197-11-355 to review a SEPA Checklist, Site & Design Review, and Floodplain Permit. The project is a proposed 8,000 sf pre-manufactured steel building to be operated as a climate-controlled and dry wine storage facility, with 43 new or adjusted parking spaces within the area known locally as the Swiftwater Business Park on parcel 123134 at 400 Swiftwater Blvd, Cle Elum, WA.

Please see the attached Notice and SEPA Checklist. For the application materials and other information see the [project webpage](#).

Comments must be submitted to me no later than December 16, 2020 via email or in writing to City Planner, 119 W First St, Cle Elum, WA 98922.

Thank you.

Lucy Temple, Planner



119 West First Street
Cle Elum, WA 98922
(509) 674-2262 x102
www.cityofcleelum.com

City of Cle Elum
119 West First Street
Cle Elum, WA 98922



Telephone: (509) 674-2262
Fax: (509) 674-4097
www.cityofcleelum.com

CITY OF CLE ELUM
OPTIONAL DNS PROCESS
FOR STATE ENVIRONMENTAL POLICY ACT (SEPA) CHECKLIST,
SITE & DESIGN REVIEW, AND FLOODPLAIN PERMIT

Who?

Applicant: Garnet Ledge Investments LP; PO Box 946, Roslyn, WA 98941; 509-572-7721

State Environmental Policy Act (SEPA) Lead Agency: City of Cle Elum

SEPA Official: Lucy Temple, City Planner

What?

The City received an application for a proposed 8,000 sf pre-manufactured steel building to be operated as a climate-controlled and dry wine storage facility, with 43 new or adjusted parking spaces.

The City of Cle Elum has chosen to use the Optional DNS Process per WAC 197-11-355, as a combined Notice of Application for a State Environmental Policy Act (SEPA) Checklist, Site & Design Review (SDR), and Floodplain Permit (FP) for the subject project to provide a combined 14-day public comment period and accept public comment.

Documentation is available at City Hall or on the City webpage: <http://cityofcleelum.com/city-services/administrative-services/public-notices/>

When?

A 14-day comment period is required for the project, which ends **December 16, 2020**. Once the comment period ends and all written comments received are reviewed, the City anticipates issuing a SEPA Determination of Nonsignificance (DNS) before moving forward with permit processes.

Where?

The proposed location is within the area known locally as the Swiftwater Business Park on parcel 123134 at 400 Swiftwater Blvd, Cle Elum, WA (vicinity map on reverse side).

Why?

The purpose of this review is to environmentally evaluate the project.

Per Cle Elum Municipal Code 15.28.200, WAC 197-11-355 the SEPA Checklist is being distributed to agencies with Jurisdiction. Others will receive this summary documentation as a neighboring property owner, courtesy, or due to a request.

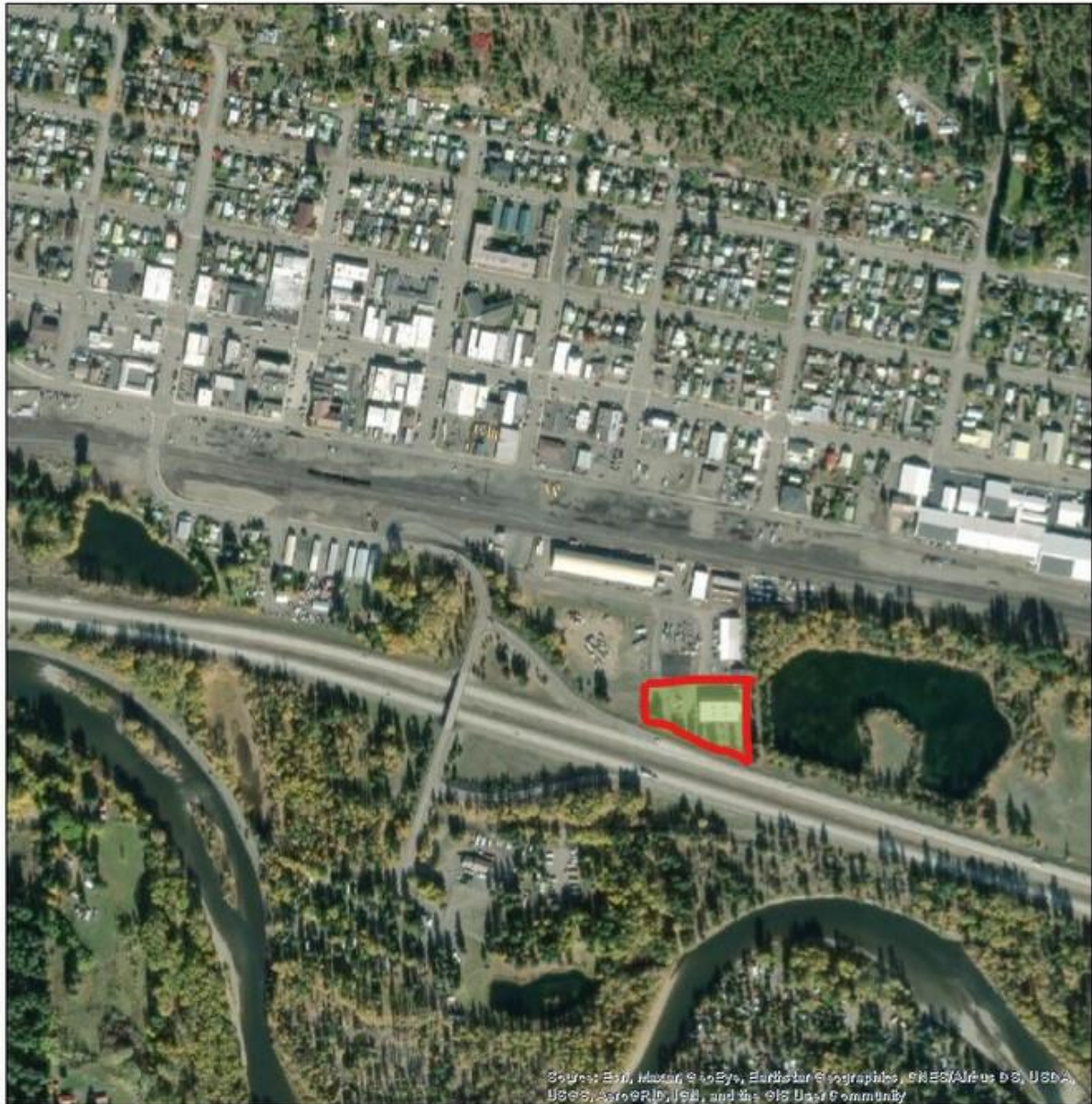
COMMENTS SHOULD BE SENT TO:

ltemple@cleelum.gov

OR

Lucy Temple
SEPA Responsible Official
119 West First Street
Cle Elum, WA 98922

Project Vicinity Map



Date: 11/16/2020

1 inch = 752 feet
Relative Scale 1:9,028

Disclaimer:
Kittitas County makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data, its use, or its interpretation. Kittitas County does not guarantee the accuracy of the material contained herein and is not responsible for any use, misuse or representations by others regarding this information or its derivatives.



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Notice of Application - Optional DNS Process

December 2, 2020

The City of Cle Elum has received permit applications for the following project:

Date of permit application: 10/21/2020 Date of determination of completeness: 11/18/2020

Date of notice of application: 12/2/2020 **Comment due date: 12/16/2020**

Agency Contact: Lucy Temple, ltemple@cleelum.gov, 509-674-2262

Agency File Number: SDR-2020-005, FP-2020-003, SEP-2020-007

An 8,000 sf pre-manufactured steel building to be operated as a climate-controlled and dry wine storage facility, with 43 new or adjusted parking spaces within the area known locally as the Swiftwater Business Park.

Location of proposal: Parcel 123134; 400 Swiftwater Blvd, Cle Elum, WA, 98922; Lat 47.191459, Long - 120.932659

Project Applicant: Garnet Ledge Investments LP, PO Box 946, Roslyn, WA 98941; 509-572-7721

SEPA Environmental Review: City of Cle Elum has reviewed the proposed project for probable adverse environmental impacts and expects to issue a Determination of Nonsignificance (DNS). This determination is based on the following preliminary findings and conclusions:

The proposed storage facility is located in a highly disturbed area within a semi-developed business park. The site is located above the Base Flood Elevation but includes compensatory mitigation ensuring no net loss of floodplain function. The project is anticipated to include adjustments that will result in a greater functionality of the overall property. The Site & Design Review will include adequate conditions to address human health and safety. The project is not anticipated to degrade or significantly impact the surrounding environment or the community.

The optional DNS process in WAC 197-11-355 is being used. **This may be your only opportunity to comment on the environmental impacts of the proposed project.**

Agencies, tribes, and the public are encouraged to review and comment on the proposed project and its probable environmental impacts. **Comments must be submitted by the date noted above to Lucy Temple, 119 W First St, Cle Elum, WA 98922 or ltemple@cleelum.gov**

Project documents may be reviewed by visiting <http://cityofcleelum.com/city-services/administrative-services/public-notices/> or contacting the project contact above. Persons wishing to be notified of project decisions should make a request to the project contact above.

Required Permits: The following local, state and federal permits/approvals are needed for the proposed project: City Site & Design Review, Floodplain Permit, Building Permit. Other state permits may be required such as an Ecology Construction Stormwater General Permit.

Required Studies: None

Existing Environmental Documents: City of Cle Elum 2019 Comprehensive Plan, 2020 SEPA Checklist, floodplain elevation certificate

Preliminary determination of the development regulations that will be used for project mitigation and consistency: The SEPA Determination of Nonsignificance (DNS) is anticipated to be issued after the public comment period is complete. After appropriate review and once appropriate conditions are determined by reviewing the following CEMC sections, the permits will be processed, as appropriate: 15.24 – Flood Hazard Prevention, 15.28 – Environmental Policy (SEPA), 15.30, Grading, Excavation, and Land Filling, 17.32 – General Commercial District, 17.100 – Project Permit Procedures, 17.76 Site and Design Review, 17.56 – Off-Street Parking and Loading Requirements, 17.64 – Landscaping Requirements. A subsequent building permit application is anticipated.

Public Hearing: No public hearing is required nor anticipated.

CITY OF CLE ELUM

NOTICE:

Optional DNS Process

Notice is hereby given that the City of Cle Elum is using the Optional DNS Process to issue a combined Notice of Application for a likely Determination of Nonsignificance (DNS), Site & Design Review and Floodplain Permit for the project described below:

LOCATION: parcel 123134; 400 Swiftwater Blvd, Cle Elum, WA

APPLICANT / Owner: Garnet Ledge Investments LP; PO Box 946, Roslyn, WA 98941; 509-572-7721

PROJECT DESCRIPTION: proposed 8,000 sf pre-manufactured steel building to be operated as a climate-controlled and dry wine storage facility, with 43 new or adjusted parking spaces.

ACTION: The City of Cle Elum is using the Optional DNS Process per WAC 197-11-355 for a State Environmental Policy Act (SEPA) review, Site and Design Review, and Floodplain Permit for the proposed project. As Lead Agency, the City of Cle Elum anticipates issuing a Determination of Nonsignificance (DNS) once the comment period has elapsed and all comments are received and reviewed.

COMMENT PERIOD: **December 2, 2020 – December 16, 2020**

The SEPA Checklist (SEP-2020-007), Site & Design Review (SDR-2020-005), and Floodplain permit (FP-2020-003) applications may be reviewed at <http://cityofcleelum.com/city-services/administrative-services/public-notices/> or by requesting copies from the City Contact below. **Comments may be submitted until 4:30 on December 16, 2020** via standard mail or email to the contact below.

CITY CONTACT: Lucy Temple, City Planner, Cle Elum City Hall, 119 W. 1st St., Cle Elum WA 98922, 509-674-2262 ltemple@cleelum.gov

**THIS MAY BE YOUR ONLY OPPORTUNITY TO COMMENT
ON THE ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT.**

Due to COVID-19, City Hall is currently closed to the public.



City of Cle Elum - Government
Published by Lucy Temple · 5m ·

The City has issued a combined notice of application under the Optional DNS Process for the Garnet Ledge Investments proposed wine storage facility within the Swiftwater Business Park.

For more information or to request additional information visit our website: <http://cityofcleelum.com/.../garnet-ledge-investments.../>

CITYOFCLEELUM.COM
Garnet Ledge Investments Storage Facility

Public Notices

[Garnet Ledge Storage Facility – Optional DNS Process – combined notification](#)

[2020/21 Shoreline Master Program \(SMP\) & Critical Areas Ordinance \(CAO\) Update](#)

Planning Department

The City of Cle Elum’s Planning Department’s objective is to preserve and enhance the community’s character by using current and long-range planning techniques.

The Planning Department is the keeper of geographical data such as Geographic Information System (GIS) data and maps, including the City’ Official Zoning and Land Use Maps. Planning is also the administrative authority over design review, grading and excavation permits, sign permits, environmental permitting such as critical areas, shorelines, and floodplains, State Environmental Policy Act (SEPA), and many other aspects of development and long range planning.

Commissions:

- The **Planning Commission** is a quasi-judicial body that reviews and approves land use decisions, and permits such as conditional use permits, and is tasked with developing and implementing the City’s Comprehensive Plan. The Planning Commission also reviews and makes recommendations to City Council on actions such as rezones, subdivisions, and development agreements.
- The **Historic Preservation Commission** is a quasi-judicial body that reviews and decides on historical register properties, and historic related development, particularly within the downtown core area.

Projects and Development	Helpful Links
<u>Garnet Ledge Storage Facility – Optional DNS Process – combined notification</u>	Comprehensive Plan Update Webpage
	Development Regulation Updates

1 CITY OF CLE ELUM

2 119 W. First Street

3 Cle Elum WA 98926

4
5 In the matter of City of Cle Elum SEPA-2020-007

6 AFFIDAVIT OF MAILING

7 STATE OF WASHINGTON)

8) ss.

9 County of Kittitas)

10 The undersigned being first duly sworn on oath states:

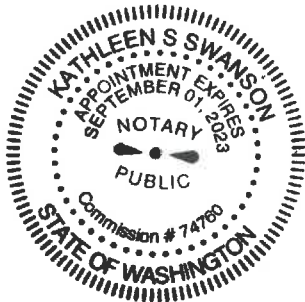
11 That on the 17th day of December, 2020, City Planner Lucy Temple distributed
12 via U.S. Mail the attached notification letter, Determination of Nonsignificance, and
13 vicinity map, to the attached hard copy mailing list, and by email to the attached email
14 list for the Garnet Ledge Investments LP proposed wine storage facility in the Swiftwater
15 Business Park.

16
17 Signature: Lucy Temple

18
19 SUBSCRIBED AND SWORN TO before me, this 17th day of December, 2020.

20
21 Kathleen Swanson
22 Notary Public in and for the State of Washington

My commission expires: 9/1/2023



City of Cle Elum
119 West First Street
Cle Elum, WA 98922



Telephone: (509) 674-2262
Fax: (509) 674-4097
www.cityofcleelum.com

CITY OF CLE ELUM
OPTIONAL DNS PROCESS
DNS ISSUED

Who?

Applicant: Garnet Ledge Investments LP; PO Box 946, Roslyn, WA 98941; 509-572-7721

State Environmental Policy Act (SEPA) Lead Agency: City of Cle Elum

SEPA Official: Lucy Temple, City Planner

What?

The City received an application for a proposed 8,000 sf pre-manufactured steel building to be operated as a climate-controlled and dry wine storage facility, with 43 new or adjusted parking spaces.

The City of Cle Elum chose to use the Optional DNS Process per WAC 197-11-355, as a combined Notice of Application for a State Environmental Policy Act (SEPA) Checklist, Site & Design Review (SDR), and Floodplain Permit (FP) for the subject project.

The comment period ended on December 16, 2020 and the City has issued the Determination of Nonsignificance (DNS).

Documentation is available at City Hall or on the City webpage: <http://cityofcleelum.com/city-services/planning/garnet-ledge-investments-storage-facility/>

When?

The City issued a SEPA Determination of Nonsignificance (DNS) on December 17, 2020.

Where?

The proposed location is within the area known locally as the Swiftwater Business Park on parcel 123134 at 400 Swiftwater Blvd, Cle Elum, WA (vicinity map on reverse side).

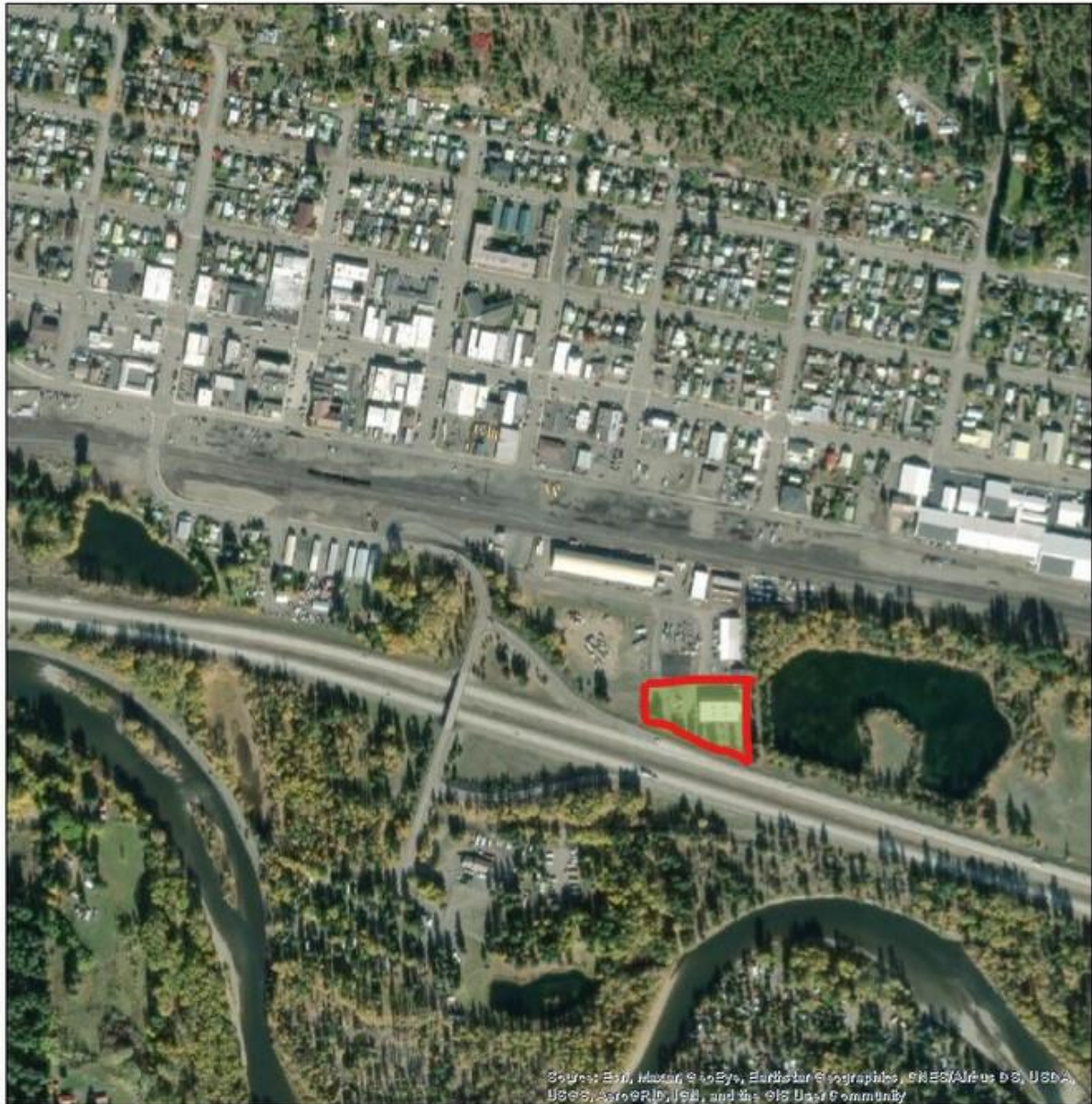
Why?

The purpose of this review was to environmentally evaluate the project.

Per Cle Elum Municipal Code 15.28.200, WAC 197-11-355 the SEPA DNS is being distributed to agencies with Jurisdiction and other parties of record, including property owners within 300 feet.

The comment period is no longer open on this project.

Project Vicinity Map



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Date: 11/16/2020

1 inch = 752 feet
Relative Scale 1:9,028

Disclaimer:
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CITY OF CLE ELUM
DETERMINATION OF NONSIGNIFICANCE (DNS)
December 17, 2020

DESCRIPTION OF PROPOSAL:

The project is a proposed 8,000 sf pre-manufactured steel building to be operated as a climate-controlled and dry wine storage facility, with 43 new or adjusted parking spaces

PROPONENT: Garnet Ledge Investments LP

LOCATION OF PROPOSAL:

The proposed project is located within the area known locally as the Swiftwater Business Park on parcel 123134; 400 Swiftwater Blvd, Cle Elum, WA, 98922; Lat 47.191459, Long -120.932659

LEAD AGENCY: City of Cle Elum

DETERMINATION:

The lead agency for this proposal has determined that the proposal (SEP-2020-007) does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c) and WAC 197-11. This decision was made after review of a completed SEPA environmental checklist and other information on file with the lead agency. The responsible official finds this information reasonably sufficient to evaluate the environmental impact of this proposal. This information is available to the public on the City's website at: <http://cityofcleelum.com/city-services/planning/garnet-ledge-investments-storage-facility/>

ACTION:

This DNS is issued under the Optional DNS Process as outlined in WAC 197-11-355; and CEMC 15.28.

RESPONSIBLE OFFICIAL: Lucy Temple
POSITION/TITLE: City Planner
ADDRESS: 119 West First Street, Cle Elum, WA 98922
EMAIL: ltemple@cleelum.gov
PHONE NUMBER: (509) 674-2262

DATE: December 17, 2020

Signature:

Pursuant to CEMC 15.28.250 this DNS may be appealed by submitting specific factual objections in writing with a fee of \$550.00 to the Cle Elum City Council, 119 West First Street, Cle Elum, WA 98922.

EXHIBIT 5. FLOODPLAIN PERMIT PACKAGE (FP-2020-003)

City of Cle Elum
119 West First Street
Cle Elum, WA 98922



Phone: (509) 674-2262
Fax: (509) 674-4097
www.cityofcleelum.com

FLOODPLAIN DEVELOPMENT PERMIT

Permission is granted under provisions of Chapter 86.18 RCW, this 28th day of December, 2020, to: Garnet Ledge Investments, LP, PO Box 946, Roslyn, WA 98941 for the installation of an 8,000sf wine storage facility with 46 parking spaces in the following location, Parcel 123134; 400 Swiftwater Blvd, Cle Elum, WA, 98922; Lat 47.191459, Long -120.932659.

Said works, structures, or improvements must be in accordance with Cle Elum Municipal Code (CEMC) 15.24 for all Flood Hazard Prevention, as applicable, and the conditions listed below in this document. This flood permit and plans attached thereto will remain on file at Cle Elum City Hall.

The work herein authorized shall commence on or after the effective date and shall be completed by the timeline set forth in the corresponding building permit issued for this project (#2020-065), or before such dates as may be specified by any extensions granted.

THE FOLLOWING PROVISIONS SHALL APPLY:

Construction and Development Standards - CEMC 15.24.140

A. Anchoring

1. *All new construction and substantial improvements shall be anchored to prevent flotation, collapse or lateral movement of the structure.*

B. Construction Methods and Materials

1. *All new construction and substantial improvements shall be constructed with materials and utility equipment resistant to flood damage.*
2. *All new construction and substantial improvements shall be constructed using methods and practices that minimize flood damage.*
3. *Electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities and machinery shall be designed and/or otherwise elevated or located so as to prevent water from entering or accumulating within the components during conditions of flooding.*

C. Utilities (should the following apply now or in the future, they must adhere to the following)

1. *All new and replacement water systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems.*
2. *New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwater into the system and discharge from the system into floodwaters.*
3. *On-site waste disposal systems shall be located to avoid impairment to them or contamination from them during flooding.*

Construction and Development - CEMC 15.24.150

In all areas of special flood hazards where base flood elevation data has been provided as set forth in Section 15.24.060 or 15.24.130(B), the following provisions are required:

- B. *Nonresidential Construction. New construction and substantial improvement of any commercial, industrial or other nonresidential structure shall either have the lowest floor, including basement, elevated to the level of the base flood elevation; or together with attendant utility and sanitary facilities, shall:*

1. *Be floodproofed so that below the base flood level the structure is watertight with walls substantially impermeable to the passage of water;*
2. *Have structural components capable of resisting hydrostatic and hydrostatic loads and effects of buoyancy;*
3. *Be certified by a registered professional engineer or architect that the design and methods of construction are in accordance with accepted standards of practice for meeting provisions of this subsection based on their development and/or review of the structural design, specifications and plans. Such certifications shall be provided to the official as set forth in Section 15.24.130(C)(2);*
4. *Nonresidential structures that are elevated, not floodproofed, must meet the same standards for space below the lowest floor as described in subsection (A)(1) of this section.*
5. *Applicants floodproofing nonresidential buildings shall be notified that flood insurance premiums will be based on rates that are one foot below the floodproofed level (e.g., a building constructed to the base flood level will be rated as one foot below that level).*

Chapter 18.01, maintenance, enhancement and preservation of critical areas

E. Frequently Flooded Areas.

1. *All structures and other improvements shall be located on the buildable portion of the site out of the area of flood hazard. Where necessary residential buildings may be elevated.*
2. *Utilities shall either be located three or more feet above the base flood elevation (BFE) or be engineered to the City of Cle Elum Engineers requirements appropriate for the conditions.*
3. *All new construction and substantial improvements shall be constructed using flood resistant materials and using methods and practices that minimize flood damage.*
4. *All new construction and substantial improvements shall be anchored to prevent flotation, collapse, or lateral movement of the structure.*
5. *No rise in the BFE shall be allowed. Post and piling techniques are preferred and are presumed to produce no increase in the BFE.*
6. *Modification of stream channels shall be avoided.*

Analysis

The plans received were certified by the applicant's engineer and reviewed by the City Engineer on December 7, 2020 (see Site & Design Review Exhibit V). The City Floodplain Manager set the Base Flood Elevation (BFE) at 1900 ft (see attached FEMA Firmette). According to the December 22, 2020 Elevation Certificate (EC) from Dustin Pierce, P.E. of Encompass Engineering, the adjacent grade is between 1902.1 ft and 1902.9 ft and the top of the bottom floor elevation set to be constructed at 1905.8 ft. Therefore, the planned structure is over 5 ft above the BFE and approximately 2.9-3.7 ft above adjacent grade. See attached EC and FEMA Firmette. Despite no apparent impacts to the adjacent floodplain, the project retains a plan for compensatory mitigation.

CEMC 18.01.060(A) requires a critical area permit unless another general permit isn't already planned. This Floodplain Permit (FP-2020-003) satisfies 18.01.060(D) of the Critical Areas Ordinance. All other requirements of CEMC 15.24.150 are not applicable to the proposed project.

Conditions

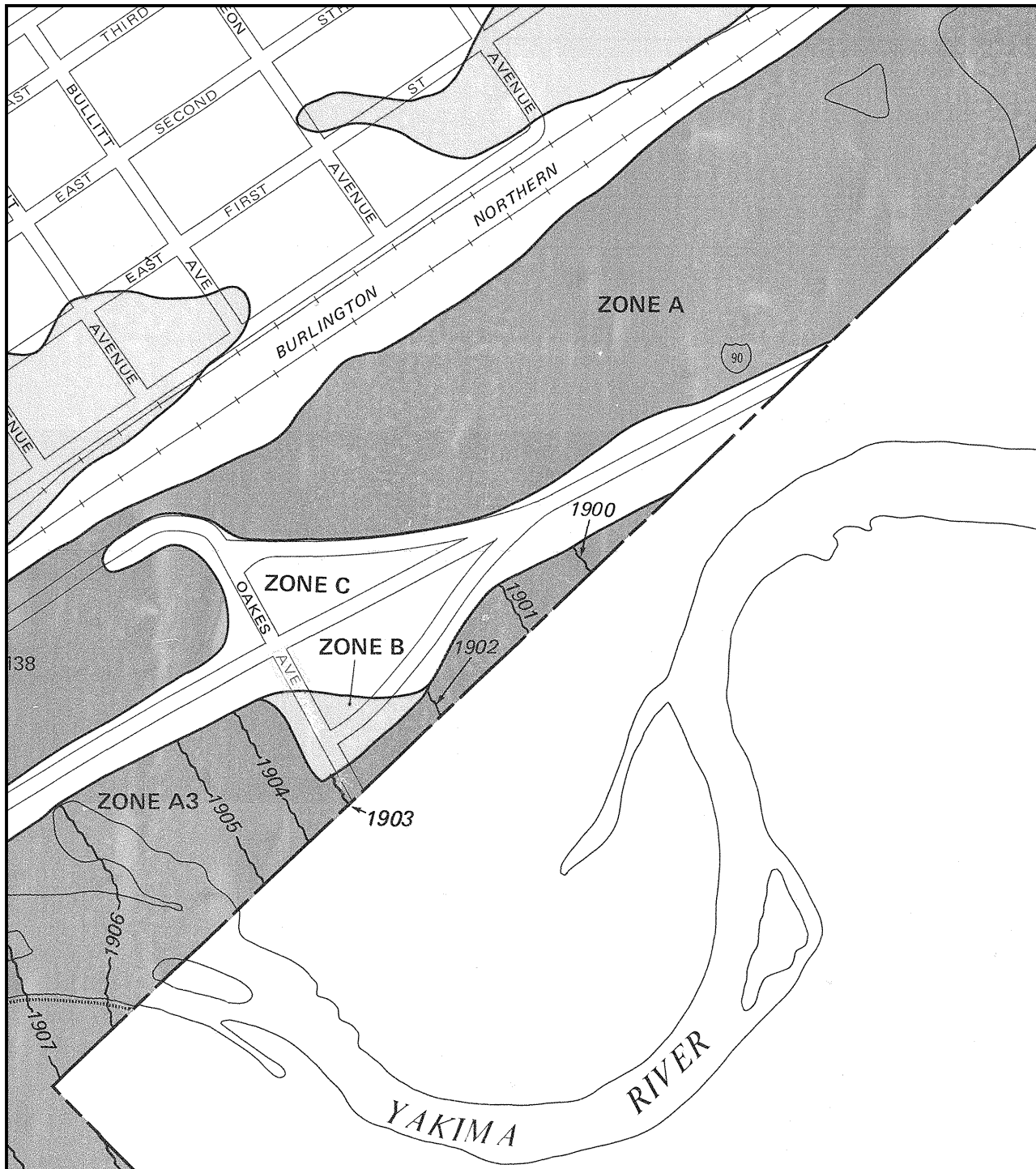
1. The City Building Permit for this project requires a final new Elevation Certificate (EC) be submitted when construction of the building is complete, per section C1 of the December 22, 2020 EC.



Lucy Temple, City Planner/Floodplain Manager

12/29/2020

Date



APPROXIMATE SCALE

500 0 500 FEET

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

CITY OF
CLE ELUM,
WASHINGTON
KITITITAS COUNTY

ONLY PANEL PRINTED

COMMUNITY-PANEL NUMBER
530096 0001 B

EFFECTIVE DATE:
MAY 5, 1981



federal emergency management agency
federal insurance administration

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Garnet Ledge Investments				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 400 Swiftwater Blvd.				Company NAIC Number:	
City Cle Elum		State Washington		ZIP Code 98922	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Parcel no. 123134					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Non-Residential</u>					
A5. Latitude/Longitude: Lat. <u>47°11'28.97" N</u> Long. <u>120°55'59.55" W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1B</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>8000.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number City of Cle Elum 530096			B2. County Name Kittitas County		B3. State Washington
B4. Map/Panel Number 530096 0001	B5. Suffix B	B6. FIRM Index Date 05-05-1981	B7. FIRM Panel Effective/ Revised Date 05-05-1981	B8. Flood Zone(s) A	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) Zone A
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 400 Swiftwater Blvd.			Policy Number:
City Cle Elum	State Washington	ZIP Code 98922	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on: ☒ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

- C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: TS 19.2 BM 19.4 Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|---------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>1905.8</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>1902.1</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>1902.9</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including
structural support | <u>N/A</u> | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name
Dustin Pierce

License Number
45503

Title
Professional Land Surveyor

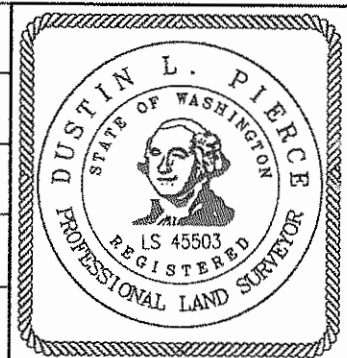
Company Name
Encompass Engineering & Surveying

Address
407 Swiftwater Blvd.

City
Cle Elum

State
Washington

ZIP Code
98922



Signature
[Handwritten Signature]

Date
12/22/2020

Telephone
(509) 674-7433

Ext.
206

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 400 Swiftwater Blvd.			Policy Number:	
City Cle Elum	State Washington	ZIP Code 98922	Company NAIC Number	
SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)				
For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.				
E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG). a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ <u>2.9</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters <input checked="" type="checkbox"/> above or <input type="checkbox"/> below the HAG. b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ <u>3.7</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters <input checked="" type="checkbox"/> above or <input type="checkbox"/> below the LAG.				
E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.				
E3. Attached garage (top of slab) is _____ <u>N/A</u> <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.				
E4. Top of platform of machinery and/or equipment servicing the building is _____ <u>N/A</u> <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.				
E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown. The local official must certify this information in Section G.				
SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION				
The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.				
Property Owner or Owner's Authorized Representative's Name				
Address	City	State	ZIP Code	
Signature	Date	Telephone		
Comments				
<input type="checkbox"/> Check here if attachments.				

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 400 Swiftwater Blvd.			Policy Number:	
City Cle Elum	State Washington	ZIP Code 98922	Company NAIC Number	
SECTION G – COMMUNITY INFORMATION (OPTIONAL)				
<p>The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.</p> <p>G1. <input type="checkbox"/> The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)</p> <p>G2. <input type="checkbox"/> A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.</p> <p>G3. <input type="checkbox"/> The following information (Items G4–G10) is provided for community floodplain management purposes.</p>				
G4. Permit Number		G5. Date Permit Issued		G6. Date Certificate of Compliance/Occupancy Issued
<p>G7. This permit has been issued for: <input type="checkbox"/> New Construction <input type="checkbox"/> Substantial Improvement</p> <p>G8. Elevation of as-built lowest floor (including basement) of the building: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p> <p>G9. BFE or (in Zone AO) depth of flooding at the building site: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p> <p>G10. Community's design flood elevation: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____</p>				
Local Official's Name			Title	
Community Name			Telephone	
Signature			Date	
<p>Comments (including type of equipment and location, per C2(e), if applicable)</p> <div style="text-align: right; margin-top: 10px;"><input type="checkbox"/> Check here if attachments.</div>				

BUILDING PHOTOGRAPHS**ELEVATION CERTIFICATE**

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 400 Swiftwater Blvd.			Policy Number:
City Cle Elum	State Washington	ZIP Code 98922	Company NAIC Number
<p>If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.</p>			
Photo One			
Photo One			Clear Photo One
Photo One Caption			
Photo Two			
Photo Two			Clear Photo Two
Photo Two Caption			

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
400 Swiftwater Blvd.

Policy Number:

City

State

ZIP Code

Company NAIC Number

Cle Elum

Washington

98922

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three

Photo Three Caption

Clear Photo Three

Photo Four

Photo Four

Photo Four Caption

Clear Photo Four

119 West First Street
Cle Elum, WA 98922
Telephone · (509) 674-2262
Fax · (509) 674-4097
www.cityofcleelum.com



Stamp & initial

Received electronically
on 10/21/2020
by Lucy Temple

FP-20 20 -003

FLOODPLAIN DEVELOPMENT PERMIT APPLICATION

SECTION 1: General Provisions (APPLICANT to read and sign):

1. No work of any kind may start until a permit is issued.
2. The permit may be revoked if any false statements are made herein.
3. If revoked, all work must cease until permit is re-issued.
4. Development shall not be used or occupied until a Certificate of Compliance is issued.
5. The permit will expire if no work is commenced within six months of issuance.
6. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal regulatory requirements.
7. Applicant hereby gives consent to the Local Administrator or his/her representative to make reasonable inspections required to verify compliance.
8. THE APPLICANT, CERTIFIES THAT ALL STATEMENTS HEREIN AND IN ATTACHMENTS TO THIS APPLICATION ARE, TO THE BEST OF MY KNOWLEDGE, TRUE AND ACCURATE.

(APPLICANT'S
SIGNATURE)

DATE 9/21/20

SECTION 2: Proposed Development (To be completed by APPLICANT):

Name	Address	Telephone	Email
(Property Owner) Garnet Ledge Investments LP	PO Box 946 Roslyn, WA 98941	509-572-7721	jeff@swiftwatercus tomhomes.com
(Applicant)			
(Authorized Agent) Jeff Hansell	PO Box 946 Roslyn, WA 98941	509-572-7721	jeff@swiftwatercus tomhomes.com
(Builder)			
(Engineer) Encompass Eng. & Surveying	407 Swiftwater Blvd Cle Elum, WA 98922	509-674-7433	mkirkpatrick@enco mpasses.net

Project Location and Parcel Specific Information : To avoid delay in processing the application, please provide enough information to easily identify the project location. Provide the street address, lot number or legal description (attach) and, outside urban areas, the distance to the nearest intersecting road or well-known landmark. A sketch/drawing or photos attached to this application showing the project location would be helpful.

Project Location: Swiftwater Business Park in Cle Elum, WA

Assessor's Parcel #: 123134

Acreage: 1.67 acres

Site Address: 400 Swiftwater Blvd, Cle Elum, WA 98922

Highest Adjacent Grade Next To Proposed Structure: 1903.29

Lowest Adjacent Grade Next to Proposed Structure: 1902.35

Land Use: Zoning: General Commercial Comp Plan Land Use: Commercial

Watercourse Name: N/A

PROJECT INFORMATION

Activity Types

☒ New Construction

☐ Addition

☐ Alteration

☐ Relocation

☐ Demolition

☐ Replacement

☐ Repair

☐ Storage

Categories

☐ Residential Structure

☒ Non-Residential Structure

☐ Manufactured Home

☐ Bridge / Culvert

☐ Levee

☐ Stream Bank / Channel

☐ Irrigation Structure

☐ Habitat Enhancement

☐ Water / Sewer

☐ Subdivision (new or expansion)

☐ Other: _____

Components

☒ Excavation

☒ Fill

☐ Channelization

☒ Grading

☐ Clearing

☐ Mining and Dredging

☐ Drilling

☐ Debris Removal

☐ Wetland Impact

☐ Other: _____

Estimated cost of project \$ \$300,000

Quantity of fill placement in floodplain (detailed grade and fill plan required) 1,037 cy (cubic yards)

List all applicable local, state and federal permits and indicate whether they were issued, waived, denied or pending.

Building Permit - Pending

Site & Design Review Application - Pending

Is the project within the Floodway? No If your parcel is partially in the Floodway, a survey of your property may be necessary to establish that the project is not encroaching in the Floodway. If the lot has a potential of encroaching in the Floodway, a "No Net Loss" analysis must be completed and submitted for review.

If determined, Base Flood Elevation at project site: Not Determined

Project description and additional project information (attach additional sheets if necessary):

AUTHORIZATION:

The undersigned hereby certifies that this application has been made with the consent of the lawful property owner(s) and that all information submitted with this application is complete and correct. False statements, errors, and/or omissions may be sufficient for denial of the request. This application gives consent to the City to enter the properties listed above for the purposes of inspecting and verifying information presented in this application. The applicant further agrees to pay all fees associated with the review of this application.

All correspondence and notices will be transmitted to the Property Owner and copies sent to the applicant/authorized agent, as applicable.

Signature of Property Owner

Date

Signature of Applicant

Date

Signature of Authorized Agent

Date

SECTION 3: Floodplain Determination (To be completed by Floodplain Manager):

FIRM Panel No: 530096 0001 B Base Flood Elevation: 1900ft
Special Flood Hazard Zone: A In Floodway? Yes/No No

The Proposed Development:

- ☐ Is NOT located in a Special Flood Hazard Area (Notify the applicant that the application review is complete and NO FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED)
- ☐ Is partially located in the SFHA, but building/development is not.
- ☒ Is located in a Special Flood Hazard Area
FIRM zone designation is A.
"100-Year" flood elevation at the site is: 1900ft ft.
☐ Unavailable
- ☐ Is located in the floodway.
FBFM Panel No. _____ Dated _____
(if different from the FIRM panel and date)
- ☐ See Section 4 for additional instructions.



12/29/2020

Signature of Floodplain Manager

Date

SECTION 4: Additional Information Required (To be completed by Floodplain Manager):

The applicant must submit the documents checked below before the application can be processed:

- ☐ A site plan showing the location of all existing structures, water bodies, adjacent roads, lot dimensions, and proposed development.
- ☐ Development plans, drawn to scale, and specifications, including where applicable: details for anchoring structures, proposed elevation of lowest floor (including basement), types of water-resistant materials used below the first floor, details of floodproofing of utilities located below the first floor, and details of enclosures below the first floor.

Also, _____

- ☐ Plans showing the extent of watercourse relocation and/or landform alterations.
- ☐ Change in water elevation (in feet) _____ ☐ Meets ordinance limits on elevation increases
☐ Yes ☐ No
- ☐ Top of new compacted fill elevation _____ ft. NGVD (MSL).
- ☐ Floodproofing protection level (non-residential only) _____ ft. NGVD (MSL). For floodproofed structures, applicants must attach certification from registered engineer or architect.
- ☐ Certification from a registered engineer that the proposed activity in a regulatory floodway will not result in any increase in the height of the "100-year" flood. A copy of all data and hydraulic/hydrologic calculations supporting this finding must also be submitted.
- ☐ Other:

SECTION 5: Permit Determination (To be completed by Floodplain Manager):

I have determined that the proposed activity: A. ☒ IS
B. ☐ Is NOT

In conformance with provisions of Cle Elum Municipal Code 15.24 Flood Hazard Protection. The Permit is issued subject to the conditions attached to and made part of this permit.

Signature of Floodplain Manager



12/29/2020

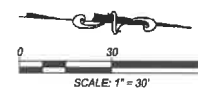
Date

If Box A is checked, the Administrator may issue a Development Permit upon payment of a designated fee.

If Box B is checked, the Administrator will provide a written summary of deficiencies. Applicant may revise and resubmit an application to the Administrator or may request a hearing from the Cle Elum Planning Commission.

EXHIBIT 6. FIRE PROTECTION

SE 1/4 OF SW 1/4 OF SECTION 26, T. 20 N., R. 15 E., W.M.
CITY OF CLE ELUM, STATE OF WASHINGTON



**Know what's below.
Call before you dig.**

[illegible]

REVIEW DRAFT

XX/XX/2020

HANSELL SELF STORAGE

JEFF HANSELL

SITE PLAN



Western Washington Division
65 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250
Eastern Washington Division
407 Swiftwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433

JOB NO.	20010
DATE	AUG 2020
SCALE	AS SHOWN
DESIGNED	TJS
DRAWN	TJS
CHECKED	RBN
APPROVED	RBN

SHEET C1.0

Lucy Temple

From: Fire Chief <FireChief@cityofcleelum.com>
Sent: Tuesday, December 8, 2020 9:56 AM
To: Lucy Temple
Cc: romans@cityofcleelum.com
Subject: Re: Garnet Ledge completeness review
Attachments: image001.png; image002.png; image003.jpg

Yes the location that is between the two buildings out by the road not tucked back in a dead end parking lot. This would be between the fitness building and new building being able to pull line from the hydrant to the fire not having to back in and pull line from the truck to the hydrant.

Cle Elum Fire Chief
Ed Mills
Cell 509-656-4062
Station 509-674-1748

On Dec 7, 2020, at 5:49 PM, Lucy Temple <ltemple@cleelum.gov> wrote:

Thanks Ed. To clarify, when you refer to "what our city planner has recommended" are you referring to Rob's suggested location (see attached)?

From: Fire Chief <FireChief@cityofcleelum.com>
Sent: Monday, December 7, 2020 3:42 PM
To: Lucy Temple <ltemple@cleelum.gov>; romans@cityofcleelum.com
Subject: RE: Garnet Ledge completeness review

The current position of purposed hydrant is located at the back of a closed parking lot. In use of a hydrant you want to be able to hook into the hydrant and pull away from it to get water to a structure. This at the purposed location would require us to pull into a possible crowded parking lot with cars trying to leave a fire and drag hose to the hydrant. The new high diameter hose (5 inch) on our new engine is not something that you can just drag over to a hydrant.

The road way in between the two businesses would allow an engine to pull hose to the site staying out of the claps zone. Without having to drag hose by person. This also allows us to fight fire from either location without having to back into a parking lot to pull hose in front or in behind the building.

By the looks of what our city planner has recommended it seems to be in the proper spot and a usable location.

Cle Elum Fire Chief
Edwin Mills
Firechief@cityofcleelum.com<mailto:Firechief@cityofcleelum.com>
Cell 509-656-4062
Station 509-674-1748

From: Lucy Temple [mailto:ltemple@cleelum.gov]
Sent: Monday, December 7, 2020 12:24 PM
To: Fire Chief <FireChief@cityofcleelum.com<mailto:FireChief@cityofcleelum.com>>

Lucy Temple

From: Ben Annen <bannen@hlacivil.com>
Sent: Sunday, December 6, 2020 7:48 AM
To: Lucy Temple
Cc: Rob Omans; Mike Engelhart
Subject: RE: Garnet Ledge completeness review
Attachments: 2020-12-07 Plan Review DRAFT.docx

Hi Lucy,

I hadn't received the updated plans dated 11/24/2020, but after review of those, most of my comments are still in play. Rob's proposed hydrant revision is based on a water main being extended south on the access road, which appears to have been on the August 2020 plans, but no longer planned. Let's plan to have the fire chief write a response regarding hydrant(s) and location(s). I updated the letter to expand on the hydrant discussion, and other provisions below. I'll have our front office finalize the letter tomorrow and I'll email you a PDF.

Best,

Benjamin A. Annen, PE

HLA Engineering and Land Surveying, Inc.

2803 River Road Yakima, WA 98902

Phone: (509)966-7000 | Fax: (509)965-3800

bannen@hlacivil.com | www.hlacivil.com



From: Lucy Temple <ltemple@cleelum.gov>
Sent: Saturday, December 5, 2020 1:52 PM
To: Ben Annen <bannen@hlacivil.com>
Cc: Rob Omans <romans@cleelum.gov>; Mike Engelhart <mengelhart@cleelum.gov>
Subject: RE: Garnet Ledge completeness review

Thanks Ben.

There was another set of plans delivered to the City on 11/24 – did you receive those? I have attached them along with their response to my requests for updates to the original submittal. Would you have another look to see if any of your questions/concerns were addressed?

My comments on your current letter are below in the same order as your list. Would you please revise based on these comments and what you see in the revised plan set we received?

Thanks!

~Lucy

-
2. The new plans show the significant trees being removed. These deciduous trees would need to measure 12" dbh if considered significant and should be preserved per [CEMC 17.64.040](#). The project needs a vegetative buffer

EXHIBIT 7. INTERIM GRADING AUTHORIZATION

City of Cle Elum
119 West First Street
Cle Elum, WA 98922



Phone: (509) 674-2262
Fax: (509) 674-4097
www.cityofcleelum.com

**Hospital District #2 Ambulance Garage
Interim Work Authorization
8/27/2020**

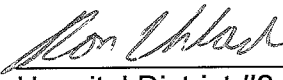
Hospital District #2 is hereby authorized to complete the following planned clearing, grading, excavation, and site stabilization construction activities on parcel 484135, pending the review and approval of the required project permits. The conditions below should be aligned by the developer with the current approved 2017 Washington State Department of Ecology Construction Stormwater General permit and 2019 Stormwater Management Manual for Eastern Washington (SWMMEW).


1. Install and maintain Best Management Practices (BMPs) as detailed in plan sheet C2.0 – TESC Plans and Notes, C2.1 – TESC Notes and Details, Stormwater Pollution Prevention Plan (SWPPP), and as approved by the SWMMEW.
 - a. The sequence of BMP installation shall follow the sequence found on sheet C2.0 – TESC Plans and Notes, with the following additional Conditions:
 - ii. Dust control measures per C2.1 – TESC Notes and Details shall be implemented immediately and as needed to control dust throughout project site preparation and construction, and final closeout.
 - iii. All BMPs shall be wind resistant to prevent movement off site or ineffective application.
 - iv. Covering exposed soils with plastic sheeting prevents erosion, but accelerates movement of water, which can cause erosion at the toe of slopes. Please install plastic sheeting with this in mind, and use BMPs such as quarry spalls at the toe of slope to capture and slow the movement of water adequately to filter out fines, and prevent water from leaving the site.
 - v. High visibility fencing and other BMPs shall not interfere with public sidewalks or roads.
 - b. Erosion control measures to stabilize the cleared area and construction entrances shall be installed no later than September 4, 2020.
 - c. Upon installation, please contact Lucy Temple to make arrangements for an onsite inspection.

*Hospital District #2 Ambulance Garage Construction
Interim Work Authorization
8/27/2020*

This Interim Work Authorization is subject to the following conditions:

1. It shall be the ongoing responsibility of the property owner to monitor and maintain these dust, erosion, and sediment control measures.
2. Additional dust, erosion, and sediment control measures shall be installed as necessary, especially as seasonal weather changes occur.
3. The work described above shall be subject to monitoring and periodic inspection by the City.
4. Dust control shall be ongoing and accommodated within two hours upon request by the City.
5. The Project Engineer or his/her designee shall notify the City Public Works Director and all affected residences at least one day in advance of any activities that will result in the closure of a lane(s) of travel and shall provide flaggers and/or traffic safety measures in accordance with industry standards.
6. The failure to comply with these conditions of approval may result in the revocation of this interim authorization and/of the imposition of penalties.
 - a. Subsequent permits shall not be issued if there are outstanding code violations on the site.

 8/28/20
Hospital District #2 Date

 8/28/2020

City of Cle Elum Date

EXHIBIT 8. INADVERTENT DISCOVERY PLAN

City of Cle Elum

Inadvertent Discovery Plan

GARNET LEDGE

In the event that any ground-disturbing activities or other project activities related to this development or in any future development uncover protected cultural material (e.g., bones, shell, antler, horn or stone tools), the following actions will be taken:

1. When an unanticipated discovery of protected **cultural material** (see definitions below) occurs, the property owner or contractor will completely secure the location and contact:
 - a) The property owner and project manager;
 - b) The Department of Archaeology and Historic Preservation (DAHP) (Dennis Wardlaw, 360-586-3085);
 - c) The affected Tribal members:
 - a. Guy Mora, Tribal Historic Preservation Officer (THPO), Colville Confederated Tribes (509-634-2695);
 - b. Kate Valdez, Tribal Historic Preservation Officer (THPO), Confederated Tribes and Bands of the Yakima Nation (509-865-1068);
 - c. Steve Mullen-Moses, Director – Archaeology and Historic Preservation, Snoqualmie Indian Tribe (425-495-6097)
 - d) and the City Planner associated with the project: Lucy Temple, City of Cle Elum (509-656-4577)
2. If the discovery is **human remains**, the property owner or contractor will stop work in and adjacent to the discovery, completely secure the work area by moving the land-altering equipment to a reasonable distance, and will immediately contact:
 - a) The property owner and project manager: City of Cle Elum – Lucy Temple (509-656-4577) AND Mayor Jay McGowan (509-304-4576)
 - b) The Kittitas County Sheriff's Department (509-962-7525)
 - a) and the Kittitas County Medical Examiner's Office (509-933-8200) (alternate phone: Coroner Nick Henderson, cell 509-856-4970) to determine if the remains are forensic in nature;
 - b) If the remains are not forensic in nature the Department of Archaeology and Historic Preservation (DAHP) (Guy Tasa 360-586-3534); will take the lead on determining the appropriate method of treatment for the remains and will consult with the affected tribes;

Cultural material that may be protected by law could include but not be limited to:

1. Buried layers of black soil with layers of shell, charcoal, and fish and mammal bones (Figure 1, top).
2. Buried cobbles that may indicate a hearth feature (Figure 1, bottom);
3. Non-natural sediment or stone deposits that may be related to activity areas of people;
4. Stone, bone, shell, horn, or antler tools that may include projectile points (arrowheads),
5. scrapers, cutting tools, wood working wedges or axes, and grinding stones (Figures 2 and 3);
6. Stone tools or stone flakes (Figures 2 and 3);
7. Perennially damp areas may have preservation conditions that allow for remnants of wood and other plant fibers; in these locations there may be remains including fragments of basketry, weaving, wood tools, or carved pieces (Figure 4); and

8. Concentrations of historical period artifacts (> 50 years old) (Figure 5); and
9. Human remains. This includes complete burials as well as fragmentary remains.

Figure 1: Shell Middens (top) and Heath Features (both) are both common components of precontact period sites.



Figure 2: Examples of stone and bone tools.



Figure 3: Examples of stone flakes.



Figure 4: Examples of underwater/intertidal archaeological features including wood or stone fish weirs (left), clam gardens (bottom), sunken canoes (right) or other watercraft, and basketry.



Figure 5. Historical period sites (more than 50 years in age) are also protect by archaeology laws. These can include concentrations of broken ceramics, bottles, bricks, and metal objects.



EXHIBIT 9. COMMENTS RECEIVED

- **WSDOT Letter**
- **HLA Plan Review**

December 9, 2020

City of Cle Elum Planning Department
119 West First St.
Cle Elum, WA 98922

Attn: Lucy Temple, Planner

RE: SDR-2020-005, FP-2020-003, SEP-2020-007, Garnet Ledge Investment, LLC
I-90 MP 84.38 left – Exit 84 - Oakes Ave.

We have reviewed the proposed site plan and have the following comments.

- The subject property is adjacent to Interstate 90 (I-90), a fully-controlled limited access facility with a posted speed limit of 70 miles per hour. WSDOT has acquired all access rights to the highway, including the on- and off-ramps of Exit 84. Direct access to I-90 or within the limited access boundary is strictly prohibited.
- Stormwater and surface runoff generated by this project must be retained and treated on site. Any discharge of stormwater into I-90 right-of-way will require an approved utility permit.
- For the safety and security of I-90, the proponent must construct a six-foot tall fence (no gates) on their property along I-90 right-of-way boundary.
- Any proposed lighting must be directed down towards the site and away from I-90.
- Any outdoor advertising or motorist signing considered for this project will need to comply with state criteria. Please contact Trevor McCain of the WSDOT Headquarters Traffic Office for specifics. He can be reached at (360) 705-7282.

Thank you for the opportunity to review and comment on this proposal. If you have any questions regarding this letter, please contact Jacob Prilucik at (509) 577-1635.

Sincerely,



Paul Gonseth, P.E.
Region Planning Engineer

Enclosure

PG: jjp/mnk

cc: I-90, File #3
Michael Krahenbuhl, Area 1 Maintenance Superintendent



December 7, 2020

City of Cle Elum
119 West First Street
Cle Elum, WA 98922

Attn: Lucy Temple
City Planner

Re: Hansell Self Storage
Plan Review 1
HLA Project No. 20010G

Dear Lucy:

On November 23, 2020, we received plans and a storm drainage report for the Hansell Self Storage development, prepared by Encompass Engineering & Surveying. Per your request, we have completed our review of the proposal and provide comments as shown below.

Documents Reviewed:

1. Hansell Self Storage, dated October 20, 2020, including:
 - a. Sheet C0.0 – Cover Sheet & Site Plan
 - b. Sheet C1.0 – Existing Conditions & TESC
 - c. Sheet C2.0 – Grading & Drainage Plan
 - d. Sheet C3.0 – Sewer & Water Plan
 - e. Sheet C4.0 – Notes & Details
2. Storm Drainage Report, dated November 6, 2020.

General Project Comments:

1. Thank you for your submittal. We recommend the developer be required to address all review comments and submit final plans and a storm drainage report for review and approval.
2. HLA Engineering and Land Surveying, Inc. (HLA), or City of Cle Elum's (City) review and approval does not relieve the Owner, developer, contractor, or design engineer from complying with state regulations and appropriate governing agency required codes and standards, and the developer's engineer remains responsible for the design and technical details of the project.
3. The narrative identifies that a boundary line adjustment was processed in 2020 to accommodate the proposed building. There is conflicting information on the plans, specifically on Sheet C1.0 that shows a boundary line through the building site. We recommend including the topographic survey in the plan set to identify complete boundaries with access and utility easements shown for proposed utility lines and access points. There appears to be an existing easement accommodating a gas line, and it should be confirmed this easement can contain the proposed public water main as well.
4. HLA's review did not include planning considerations such as zoning and land use, setbacks, parking counts and dimensions, landscape standards, etc.

Storm Drainage Report Comments:

1. All stormwater shall be retained on-site. It is unclear whether runoff is planned to be retained on-site and disposed of through infiltration as an infiltration rate is identified in the report, or if detention is planned as stated in the report, and disposal is through another means. It appears the proposed detention pond will utilize an existing culvert at the southerly limits of the property. This will only be acceptable if approval is granted by the Washington State Department of Transportation.
2. The Storm Drainage report states the runoff treatment will be provided by the detention pond, yet the culvert outlet appears to be at the base of the detention pond, so it is unclear how treatment will be provided. The infiltration rate proposed is greater than the maximum allowable rate provided in the 2019 Stormwater Management Manual for Eastern Washington (SWMMEW) for treatment.

Plan Comments:

1. Sheet C0.0 – The new water service is mislabeled on the east side of the proposed building.
2. Sheet C1.0 – Add inlet protection to the catch basin on the west side of the access road and consider providing protection for the associated existing swale.
3. Sheet C2.0 – The accessible parking shown appears to be in existing paved areas with cross slopes exceeding maximum standards of 2.0%. Additionally, it is located adjacent to an existing building. The Cle Elum Municipal Code should be reviewed to confirm if accessible parking can be shared between buildings and uses.
4. Sheet C2.0 – The site cross section states the existing fence is to remain, while new chain link fence is proposed.
5. Sheet C2.0 – Curbing shall be installed adjacent to landscaped areas consistent with CEMC 17.64.050(D).
6. Sheet C3.0 – One hydrant is proposed at the southwest corner of the new building. We recommend the fire chief review this location to ensure it is not too close to the building. Also, it is our understanding the original approved plans for the Swiftwater development included a hydrant near the northwest corner of the existing building, but it was never installed by the developer. We recommend the fire chief review the hydrant coverage of the overall site to determine adequacy, and any other additional hydrants that may be required.

If you have any questions or need additional information, please call.

Very truly yours,

Benjamin A. Annen, PE

BAA/sms

EXHIBIT 10. 2019 COMPREHENSIVE PLAN CONSISTENCY

The following 2019 Comprehensive Plan Goals and Policies are met by the proposed project. The remaining Goals and Policies not listed below are not applicable to the project, but the project is not inconsistent with any Goals or Policies.

Goal LU-1: Management and Implementation

LU – 1.1 To influence the character of the City of Cle Elum by managing land use and developing facilities and services in a manner that directs and controls land use patterns and intensities.

LU – 1.2 Land use changes should be guided by topography, soils conditions, adjacent land uses, and the ability of the City to provide facilities and services.

LU – 1.3 Ensure that new development does not outpace the City’s ability to provide and maintain adequate public facilities and services by allowing new development to occur only when and where adequate facilities exist or can be provided.

LU – 1.5 The City will coordinate concurrency management review. Developers shall provide information relating to impacts that the proposed development will have on public facilities and services.

Goal LU-3: Preserve Cle Elum’s natural environment while allowing for growth and development.

LU –3.5 All new development must be in compliance with the provisions of the 2019 Stormwater Management Manual for Eastern Washington and the Washington State Department of Ecology Best Management Practices.

LU –3.10 The City of Cle Elum may regulate clearing and tree removal which results in disturbance to trees, vegetation and soils in order to: Minimize the need for additional stormwater facilities, reduce erosion, reduce risk of land slides, reduce silt laden discharges in stormwater system, preserve and enhance the City’s character.

LU –3.11 Protect and preserve water quality, natural drainage, fish and wildlife habitats and the functions of streams and wetlands.

Goal LU-5: Create Order and Energy in Commercial Areas

LU – 5.8 Continue the mandatory use of “Site and Design Review” to maintain a consistent range of aesthetic and practical development standards such as pedestrian connectivity, landscape buffers, landscaping, for all new development and redevelopment in commercial areas.

LU –5.9 Require the use of shared driveways and controlled ingress/egress for new development in commercial areas.

LU – 5.10 Encourage broad and diverse uses in existing commercial areas to promote maximum occupancy.

Goal LU-6: Open Space

LU –6.1 Discourage the disturbance of vegetation when not in conjunction with the actual development.

LU –6.2 Open space areas should be encouraged to be used as buffers for different types of land uses.

Goal LU-8: Protect, conserve and enhance the Cultural, Archaeological, and Historic preservation in Cle Elum

LU –8.5 Preserve and protect historic and cultural resources of significance to the City and local Tribes. Support the cultural values, language, and art forms of local Native Americans.

Goal LU-12: Water Quality & Quantity

LU –12.2 Prevent cumulative adverse environmental impacts to water quality, wetlands, and fish and wildlife habitat, and the overall net loss of wetlands, frequently flooded areas, and habitat conservation areas.

LU –12.3 The City shall consider the impacts of new development on water quality as part of its review process and will require any appropriate mitigating measures.

LU –12.6 Adequate on-site disposal of surface water runoff shall be provided by all types of development.

Goal LU-13: Drainage, flooding, and stormwater runoff

LU –13.1 Keep impervious surfaces to a minimum to achieve open space, greenery, and reduce impact on drainage system.

LU –13.2 Development shall take adequate measures to minimize significant erosion and flash flooding conditions by: Limiting the total amount of impervious surface to be created; Planting sufficient vegetation to offset the effects of the impervious surfaces created; and/or providing sufficient drainage facilities to control storm runoff.

LU –13.4 Review available best management practices which can be used to reduce erosion and sedimentation associated with development within Cle Elum. Investigate the need for additional erosion control measures for construction projects.

Goal LU-14: Air Quality

LU –14.2 Maintain acceptable air quality standards.

LU –14.4 Keep dust to a minimum on all public streets and alleys: 1. All streets and roads inside the City should be paved and maintained; and 2. Dust abatement programs should be continued for remaining unpaved roads until paving can be done.

Goal LU-15: Noise

LU –15.4 Consider noise impacts within development application review processes.

Goal LU-18: Aesthetics

LU –18.12 Encourage architectural styles that reflect the City's built and natural environment.

Goal CF-3: To actively influence the future character of the city by managing land use change and by developing city facilities and services in a manner that directs and controls land use patterns and intensities.

CF-3.1 Development shall be allowed only when and where all public facilities are adequate and only when such development can be adequately served by essential public services without reducing level of service standards elsewhere.

CF-3.2 If adequate facilities are currently unavailable and public funds are not committed to provide such facilities, developers must provide such facilities at their own expense in order to develop.

CF-3.3 A development shall not be approved if it causes the level of service on a capital facility to decline below the standards set forth in this plan, unless capital improvements or a strategy to accommodate the impacts are made concurrent with the development for the purposes of this policy.

CF-3.4 Require that development proposals are reviewed by the various providers of services, such as school districts, sewer, water, and fire departments, for available capacity to accommodate development and needed system improvements.

CF-3.7 Development proposals within the city should incorporate construction designs which minimize water and energy consumption.

GOAL U3: Decisions made by the City of Cle Elum regarding utility services within the City will be made in a manner consistent with and complementary to regional demands and resources.

U3.2 Site utilities away from critical areas, or site them in a manner that is compatible with critical areas.

U3.3 New development shall be allowed only when and where utilities are adequate, and only when and where such development can be adequately served by essential public utilities, or provided by the developer, without significantly degrading level of service elsewhere.

GOAL U4: Additions to and improvements of utility services will be allowed to occur at a time and in a manner sufficient to serve planned growth.

U4.1 Process permits and approvals for all utility facilities in a fair and timely manner, and in accordance with land development regulations that ensure predictability and project concurrency.

Objective 1: Be consistent with the City's Comprehensive Plan Goals and Policies, the State's Growth Management Act, and County-wide Planning Policies. (RCW 36.70(A).040; CWPP 4.1, 4.3; KC Comp Plan GPO 4.7, 4.47)

T-4 Adequate transportation facilities and services should be in place at the time of occupancy of a development.

Objective 2: Create a comprehensive street system that provides reasonable vehicular circulation throughout the City while enhancing the safety and function of the overall local transportation.(CWPP 4.1; KC Comp Plan GPO 4.1, 4.3, 4.4)

T-18 Access management of Cle Elum's local system should be consistent with site Design Review Process, development standards, and the Cle Elum Municipal Code.

Objective 3: Evaluate existing and future land use for its impacts to the circulation system; ensure that a consistent level of service is provided to the public; and any improvements

that may be required, are concurrent to the development.(RCW 36.70(A).040; CWPP 4.8; KC Comp Plan GPO 4.16, 4.18)

T-22 The City shall not issue development permits where the project requires transportation improvements that exceed the City's ability to provide these in accordance with the adopted Level of Service standard, unless the developer accepts full responsibility for such improvements.

T-23 New development shall be allowed only when and where all transportation facilities are adequate at the time of development, or unless a financial commitment is in place to complete the necessary improvements or strategies which will accommodate the impacts within six years; and only when and where such development can be adequately served by essential transportation facilities without reducing level of service elsewhere.

Objective 4: Promote the development and enhancement of non-motorized transportation Citywide. (CWPP4.6; KC Comp Plan GPO 4.14.)

T-25 Pedestrian and bicycle traffic should be accommodated within all areas of the City.

T-30 New pedestrian facilities should be compliant with the Americans with Disabilities Act, and existing facilities should be upgraded to improve accessibility.

T-34 Adequate separation between non-motorized traffic should be provided to ensure safety.