

MAYOR  
JAY MCGOWAN

CITY ADMINISTRATOR  
ROBERT OMANS

DESIGNATED CITY PLANNER  
GREGG DHORN with assistance  
from MEAGAN HAYES

CITY CLERK  
KATHI SWANSON

**HISTORIC PRESERVATION  
COMMISSION AGENDA**  
March 24, 2022  
**SPECIAL MEETING**  
5:00 p.m.



119 W FIRST STREET  
CLE ELUM, WA 98922

COMMISSION MEMBERS  
MATT MARTINSON  
MARY PITTIS  
ROBERTA NEWLAND  
VACANT  
VACANT

**To ensure public safety, Historic Preservation Commission meetings are currently being held exclusively via Zoom. Connection information is available on the second page.**

- 
1. **Call to Order & Roll Call**
  2. **Set Agenda**
  3. **Adoption of Minutes**
    - a. April 5, 2022
  4. **Announcements, Appointments, Awards, & Recognition**
  5. **Citizen Comments on Non-Agenda Items (limited to 5 minutes)**
    - a. No public comments will be taken
  6. **Public Appearances**
  7. **New Business**
    - a. COA 2022-001: Tap and Bottle Shop Interior Remodel / Change of Use
  8. **Unfinished Business**
  9. **Comments from Commissioners and/or Staff**
  10. **Adjournment**

*Next Regular Commission Meeting: Meetings are currently scheduled as needed*

# HISTORIC PRESERVATION COMMISSION AGENDA

## March 24, 2022

119 W FIRST STREET  
CLE ELUM, WA 98922

City of Cle Elum is inviting you to a scheduled Zoom meeting.

Topic: Special Meeting of the Cle Elum Historic Preservation Commission

Time: Mar 24, 2022 05:00 PM Pacific Time (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/87815092255?pwd=ZDlpUjlwaHhUYk1mWUpScVJQNEhWZz09>

**Meeting ID: 878 1509 2255**

**Passcode: 99328**

One tap mobile

+14086380968,,87815092255#,,, \*99328# US (San Jose)

Dial by your location

+1 408 638 0968 US (San Jose)

1 CITY OF CLE ELUM  
2 HISTORIC PRESERVATION COMMISSION MEETING  
3 **SPECIAL MEETING**

4 Meeting Minutes  
5 April 5, 2021, 2:00 pm  
6

7 **1. Roll Call and Call to Order**

8 The meeting was called to order at 2:07 pm by **Commissioner Martinson**. The meeting  
9 was held via Zoom and all commissioners were present.  
10 Staff present was Planner Lucy Temple.

11 **2. Set Agenda**

12 *Commissioner Pittis motioned and Commissioner Newland seconded to adopt agenda as*  
13 *amended. Motion passed.*

14 **3. Adoption of Minutes**

15 *Commissioners reviewed minutes from 1/15/2021 special meeting, and no changes were*  
16 *suggested.*

17 **4. Announcements, Appointments, Awards, & Recognitions**

18 Staff shared the status of the historic plaques and asked Commissioners how to  
19 sensitively replace the plaques on the buildings, given the recent Bull Durham building  
20 fire. Commissioner Pittis asked whether Debbie Bogart could communicate with Mr.  
21 Pigeon with

22 **5. Citizen Comments on Non-Agenda Items (limited to 5 minutes)**

23 Debbie Bogart from CEDA addressed Charlene Kauzlarich to have a discussion about  
24 collaboration on a walking tour. Commissioner Newland volunteered to be involved after  
25 June, 2021.

26 **6. Public Appearances**

27 None.

28 **7. New Business**

29 a. Historic review of Tuckaway Antiques sign permit

30 Staff presented the permit and commissioners reviewed and discussed.

31 Discussion of location of signs over the transom windows.

32 Commission recommendations: recommendation that historic features be reinstalled  
33 or revealed to move toward a more authentic aesthetic. Require sign to be below  
34 roofline and suggest one sign rather than three. Suggest altering sign sizes to  
35 accommodate a smaller sign below the awning to be visible to pedestrians.

36 *Commissioner Martinson moved that Staff may approve the Certificate of*  
37 *Appropriateness and finalize the sign permit accordingly and Commissioner Iverson*  
38 *seconded to authorize the chair and staff to finalize the certificate of appropriateness.*  
39 *Motion passed.*

40  
41 b. Discussion of potential collaboration with Historical Society and Downtown Assoc.

42 Debbie Bogart from the Cle Elum Downtown Association and Charlene Kauzlarich  
43 from the Cle Elum Historical Society joined and were welcomed.

44 Debbie Bogart updated the Commission on a future partnership. CEDA is also  
45 working with DAHP on historic valuation training. Ms. Bogart suggested a Mid-May  
46 meeting to crosswalk our resources and focus.

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9

**8. Unfinished Business**

None.

**9. Comments from Commissioners and/or Staff**

Ms. Bogart suggested the Cle Elum Downtown Association could review sign permits and discuss strategies with applicants.

**10. Adjournment**

*The meeting adjourned at 3:09 p.m. on April 5, 2021. The next meeting will be scheduled as needed.*

DRAFT

*City of Cle Elum*  
119 West First Street  
Cle Elum, WA 98922



Telephone: (509) 674-2262  
Fax: (509) 674-4097  
www.cityofcleelum.com

**COA-2022-001 311 E 1<sup>st</sup> Street, Cle Elum, Washington (Parcel ID: 563435)**

**Project Description**

At a special meeting held on March 24, 2022, the Historic Preservation Commission reviewed the enclosed application for a Certificate of Appropriateness for proposed change of use for 311 E. 1<sup>st</sup> Street, Cle Elum, Washington. The application received is herein attached as Exhibit A.

The proposal includes interior improvements to enable the change of use. The proposal includes interior remodel and modifications; addition of off-street parking off the alleyway; addition of pedestrian pathway from 1<sup>st</sup> Street; addition of bike rack and outdoor seating and firepits; installation and development of landscape buffers; and other site improvements as included within Exhibit B (Tap and Bottle Shop Remodel Construction Plans). No modifications to the exterior of the structure are proposed.

**Property Historic Inventory Review**

Review of the Department of Archaeology report indicates that this property is not eligible for the National Register of Historic Places and notes that the property is not a contributing structure.

**Commission Decision**

In consideration of the application, the Department of Archaeology report and the proposed project, Certificate of Appropriateness 2022-001 is hereby **approved/denied.**

**Commission Recommendations: (pending, if applicable)**

## References

- Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings:
  - Storefronts: <https://www.nps.gov/tps/standards/rehabilitation/rehab/store01.htm>
  - Entrances: <https://www.nps.gov/tps/standards/rehabilitation/rehab/entrance01.htm>
- Cle Elum Municipal Code 15.22: <https://cleelum.municipal.codes/CEMC/15.22.060>
- Historic Preservation Commission Bylaws: <http://cityofcleelum.com/wp-content/uploads/2020/03/HPC-Bylaws-OCR.pdf>

City of Cle Elum

119 West First Street  
Cle Elum, WA 98922



Phone: (509) 674-2262

Fax: (509) 674-4097

www.cityofcleelum.com

**RECEIVED**  
MAR 3 2022  
BY: OC

## Certificate of Appropriateness Application

CEMC 15.22.050(D)(2)

| Application Information (please type or print legibly)   |                                |
|--|--------------------------------|
| Property Address:  | 311 E 1st St                   |
| Applicant Name:  | Nick Cruz                      |
| Mailing Address:   | 311 E 1st St                   |
| City:  | Cle Elum                       |
| State:   | WA                             |
| Zip:   | 98922                          |
| Phone Number:  | 509-438-2064                   |
| Email:   | resilientholdingsllc@gmail.com |
| *If the applicant is not the owner, s/he should have a letter authorizing any changes to the building, site, structure, or object. |                                |
| <input checked="" type="checkbox"/> Same as applicant  |                                |
| Property Owner Name:   |                                |
| Mailing Address:   |                                |
| City:  |                                |
| State:   |                                |
| Zip:   |                                |
| Phone Number:  |                                |
| Email:   |                                |

| Type of Work:                       |  |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Conceptual Review<br>Discuss with the Commission preliminary design ideas for a project. The Commission will address the appropriateness of the proposal and provide helpful advice. |
| <input type="checkbox"/>            | New Construction<br>Construction of a new building, additions, garages, sheds, fences, gazebos or other structures on a designated property.   |
| <input type="checkbox"/>            | Exterior Alterations<br>Includes, but is not limited to, all exterior changes to an existing building.   |
| <input checked="" type="checkbox"/> | Site Alterations<br>Removing or adding landscaping features that will alter the appearance the appearance of the property.   |

|                                     |                    |   |
|-------------------------------------|--------------------|---|
| <input checked="" type="checkbox"/> | Signs and Graphics | Installation of a sign or graphic on a building, or on the property site Includes, but is not limited to, roads, 7 fencing, retaining walls, walks, patios, and in the case of cemeteries, grave markers and plot demarcations. Site alteration also includes tree removal, land clearing, grading and filling. |
| <input type="checkbox"/>            | Demolition         | Removal of any building feature(s) or the razing of any structure(s). For all demolitions, the applicant must include a written reason for the demolition, the proposed reuse of the site, evidence of funding and a time frame for project initiation and completion.  |

**Narrative:**

Describe the proposed project in detail, including all changes to the building, site, or lot. Include all features that will be removed, altered, and/or added. Indicate all the materials that will be used and who will be doing the work. Attach additional sheet if needed.

See attached sign permit.

Turning the old dental office into a Taphouse & Bottle Shop with a restaurant component as well.

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Also include:

- Pictures of the building, site, or objects that will be altered dues to the project
- All other building applications for your project.
- Site Plan that includes:
  - Name of project
  - Address
  - North arrow, and scale



- To scale a graphic representation of the project.

**Owners/ Application Signature**

I certify that I have read the introduction to this application and that the information I have included, and any accompanying documentation, is complete and accurate to the best of my knowledge. I further certify that I, the applicant, have been authorized by the owner to commit to changes proposed by the Commission.

Signature of Owner or Applicant



Date 03/02/2022

**Application Accepted/Rejected**

Accepted

Rejected

Signature \_\_\_\_\_

Date \_\_\_\_\_

Cle Elum Historical Preservation Commission Comments:

Receipt: 11500                      03/03/2022  
Acct #:     2481                      COPY  
City Of Cle Elum  
119 W First Street  
Cle Elum, WA 98922  
5096742262

---

Resilient Holdings LLC  
311 E FIRST ST  
Cle Elum, WA 98922

Treasurers Receipt  
Memo: 311 E First ST - Certificate of  
Appropriateness

Planning/Development                      50.00  
Fees General

Non Taxed Amt:                      50.00

Total:                      50.00

Chk: 103                      50.00

Ttl Tendered:                      50.00

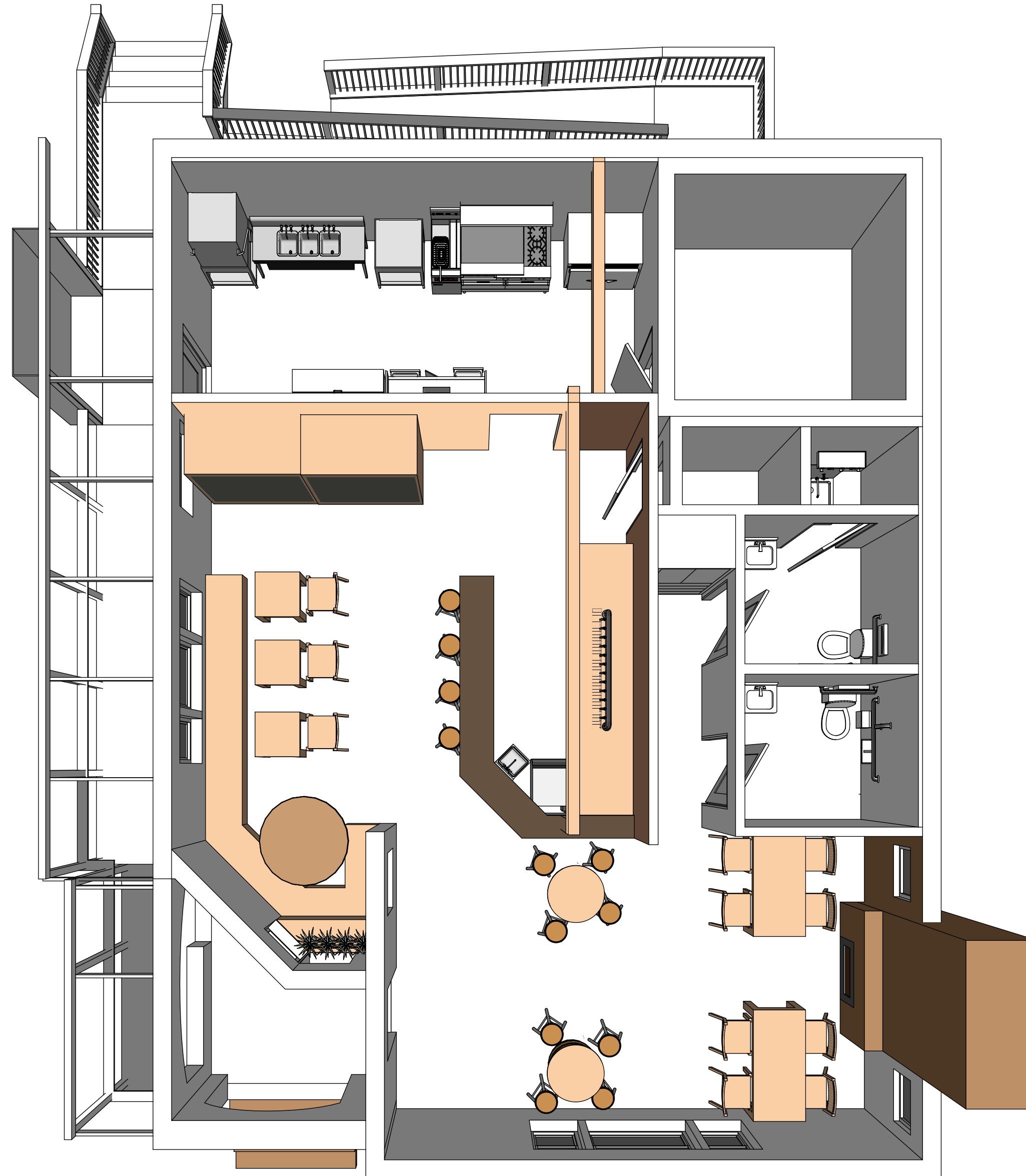
Change:                      0.00

Issued By:     Whitney Prosek  
03/03/2022 10:57:55

# ABBREVIATIONS

|         |                                      |         |                              |
|---------|--------------------------------------|---------|------------------------------|
| @       | AT                                   | LAM.    | LAMINATE                     |
| &       | AND                                  | LB.     | POUND                        |
| ABV.    | ABOVE                                | LF.     | LINEAL FOOT                  |
| A.C.    | ASPHALTIC CONCRETE                   |         |                              |
| AC      | AIR CONDITIONING                     |         |                              |
| ACT.    | ABOVE COUNTERTOP                     | MAX.    | MAXIMUM                      |
| ACOUST. | ACOUSTICAL                           | MECH.   | MECHANICAL                   |
| ADDNL.  | ADDITIONAL                           | MFR.    | MANUFACTURER                 |
| ADJ.    | ADJACENT                             | MH.     | MAN HOLE                     |
| AFF.    | ABOVE FINISH FLOOR                   | MIN.    | MINIMUM                      |
| AGG.    | AGGREGATE                            | MIR.    | MIRROR                       |
| ALUM.   | ALUMINUM                             | MIR.    | MIRROR                       |
| ALT.    | ALTERNATE                            | MISC.   | MISCELLANEOUS                |
| ARCH.   | ARCHITECTURAL                        | MW.     | MICROWAVE                    |
| AVG.    | AVERAGE                              | MOD.    | MODULE                       |
|         |                                      | MTL.    | METAL                        |
| BD.     | BOARD                                |         |                              |
| BF.     | BOTH FACES                           | (N)     | NEW                          |
| BIC.    | BUILT-IN CABINET                     | NEC     | NATIONAL ELECTRIC CODE       |
| BLDG.   | BUILDING                             | NIC.    | NOT IN CONTRACT              |
| BLK.    | BLOCK                                | N/A     | NOT APPLICABLE               |
| BLK'G.  | BLOCKING                             | NTS.    | NOT TO SCALE                 |
| BLW     | BELOW                                |         |                              |
| BRZ.    | BRONZE                               | O/      | OVER                         |
| BTM.    | BOTTOM                               | O.C.    | ON CENTER                    |
| BTR.    | BETTER                               | O.D.    | OUTSIDE DIAMETER             |
| BTWN.   | BETWEEN                              | OFD.    | OVERFLOW DRAIN               |
| BVL.    | BEVELED                              | OH.     | OVERHEAD                     |
| BW.     | BOTH WAYS                            |         |                              |
|         |                                      | PERF.   | PERFORATED                   |
| CAB.    | CABINET                              | PLAM.   | PLASTIC LAMINATED            |
| CF      | CUBIC FEET                           | PLYWD   | PLYWOOD                      |
| CLG.    | CEILING                              | PNT.    | PAINT                        |
| C.J.    | CONTROL JOINT                        | PP.     | POWER POLE                   |
| CLR.    | CLEAR                                | PSF     | POUNDS PER SQUARE FOOT       |
| CMU     | CONCRETE MASONRY UNIT                | PT.     | PRESSURE TREATED             |
| CNTR.   | COUNTER                              | PVC.    | POLY VINYL CHLORIDE          |
| C.O.    | CLEAN OUT                            | PVMT.   | PAVEMENT                     |
| COL.    | COLUMN                               |         |                              |
| COMP.   | COMPOSITION                          | QT.     | QUARRY TILE                  |
| CONC.   | CONCRETE                             |         |                              |
| CONN.   | CONNECTION                           | R.      | RISER                        |
| CONT.   | CONTINUOUS                           | RAD.    | RADIUS                       |
| CONTR.  | CONTRACTOR                           | RD.     | ROOF DRAIN                   |
| CT.     | CERAMIC TILE                         | RDWD.   | REDWOOD                      |
|         |                                      | REINF.  | REINFORCING                  |
| DBL.    | DOUBLE                               | REF.    | REFRIGERATOR                 |
| DET.    | DETAIL                               | REQ'D   | REQUIRED                     |
| DEPT.   | DEPARTMENT                           | RET.    | RETAINING                    |
| D.F.    | DOUGLAS FIR                          | REV.    | REVISION                     |
| DIA.    | DIAMETER                             | RM.     | ROOM                         |
| DIM.    | DIMENSION                            | RO.     | ROUGH OPENING                |
| DIV.    | DIVISION                             |         |                              |
| DN      | DOWN                                 | SC.     | SOLID CORE                   |
| DW      | DISHWASHER                           | SC.     | SOLID CORE                   |
| DWG.    | DRAWING                              | SG.     | SCHEDULE                     |
|         |                                      | SD      | SOAP DISPENSER               |
| (E)     | EXISTING                             | SDR.    | STORM DRAIN                  |
| EA.     | EACH                                 | SECT.   | SECTION                      |
| EJ.     | EXPANSION JOINT                      | SEZ.    | STREAM EASEMENT ZONE         |
| ELECT.  | ELECTRIC/ELECTRICAL                  | SF      | SQUARE FOOT/FEET             |
| ELEV.   | ELEVATION                            | SHT.    | SHEET                        |
| EMER.   | EMERGENCY                            | SHLVG.  | SHELVES                      |
| EN.     | EDGE NAIL                            | SHWR.   | SHOWER                       |
| EOP.    | EDGE OF PAVEMENT                     | SIM.    | SIMILAR                      |
| EOS.    | EDGE OF SLAB                         | SLR.    | SEALER                       |
| EQ.     | EQUAL                                | SPECS.  | SPECIFICATIONS               |
| EQUIP.  | EQUIPMENT                            | SQ.     | SQUARE                       |
| EXT.    | EXTERIOR                             | S&P     | SHELF & POLE                 |
|         |                                      | SS      | SANITARY SEWER               |
| FA.     | FIRE ALARM                           | S.S.D.  | SEE STRUCTURAL DRAWINGS      |
| FACP    | FIRE ALARM CONTROL PANEL             | S.ST.   | STAINLESS STEEL              |
| FAU     | FORCED AIR UNIT                      | STD.    | STANDARD                     |
| FFE.    | FINISHED FLOOR ELEVATION             | STL.    | STEEL                        |
| FG.     | FIXED GLASS                          | STOR.   | STORAGE                      |
| FH.     | FIRE HYDRANT                         | STRUCT. | STRUCTURAL                   |
| FIN.    | FINISH                               | SUSP.   | SUSPENDED                    |
| FLR.    | FLOOR                                | S.W.    | SHEARWALL                    |
|         |                                      | T.      | TREAD                        |
| GA.     | GAUGE                                | TC.     | TRASH COMPACTOR              |
| GALV.   | GALVANIZED                           | TEL.    | TELEPHONE                    |
| GC.     | GENERAL CONTRACTOR                   | TEMP.   | TEMPERED                     |
| GFI.    | GROUND FAULT INTERRUPTER             | T&G     | TONGUE & GROOVED             |
| GI.     | GALVANIZED IRON                      | TV      | TELEVISION                   |
| GLB.    | GLUED LAMINATED BEAM                 | TYP.    | TYPICAL                      |
| GND.    | GROUND                               |         |                              |
| GSM.    | GALVANIZED SHEET METAL               | VCT.    | VINYL COMPOSITION TILE       |
| GYP.    | GYPSUM WALL BOARD                    | VENT.   | VENTILATION                  |
|         |                                      | VERT.   | VERTICAL                     |
| HB      | HOSE BIBB                            | VIF.    | VERIFY IN FIELD              |
| HC      | HOLLOW CORE / HANDICAP               | VNR.    | VENEER                       |
| HDWR.   | HARDWARE                             |         |                              |
| HORIZ.  | HORIZONTAL                           | W/      | WITH                         |
| HP      | HIGH POINT                           | WC.     | WATER CLOSET                 |
| HT.     | HEIGHT                               | WD.     | WOOD                         |
| HTG.    | HEATING                              | W.      | WASHER                       |
| HVAC    | HEATING/VENTILATION/AIR CONDITIONING | WH.     | WATER HEATER                 |
| HW.     | HOT WATER                            | WP.     | WATER PROOF                  |
|         |                                      | WSEC.   | WASHINGTON STATE ENERGY CODE |
| IBC     | INTERNATIONAL BUILDING CODE          |         |                              |
| ID.     | INSIDE DIAMETER                      | YD.     | YARD                         |
| INCL.   | INCLUDED                             |         |                              |
| INFO.   | INFORMATION                          |         |                              |
| INSUL.  | INSULATION                           |         |                              |
| INT.    | INTERIOR                             |         |                              |
| INF.    | INFRARED                             |         |                              |
| IRC     | INTERNATIONAL RESIDENTIAL CODE       |         |                              |

# TAP & BOTTLE SHOP REMODEL



## PROJECT SUMMARY PROJECT TEAM



THE PROPOSAL WOULD CONVERT THE PREVIOUS BUSINESS USE AND CURRENTLY UNOCCUPIED BUILDING TO A TAP & BOTTLE SHOP WITH A RESTAURANT COMPONENT INCLUDING INDOOR AND OUTDOOR SEATING. THE PROPOSAL INCLUDES TENANT IMPROVEMENT REMODEL TO THE INTERIOR OF THE STRUCTURE AND REPLACING THE ADA ACCESS RAMP.

**OWNER**  
NICK CRUZ  
NICKJCRUZ@GMAIL.COM  
(509)438-2064

**DESIGNER**  
EVERGREEN DRAFTING, LLC  
LIA@EVERGREENDRAFTING.COM  
(206)717-5788

**STRUCTURAL ENGINEER**  
PRECISION STRUCTURAL ENGINEERING, INC  
JULIO MARTINEZ  
LIA@STRUCTURE1.COM  
(541) 858-6300

**EVERGREEN DRAFTING, LLC**  
BLUEPRINTS | HOME DESIGN | PERMITTING  
**PROJECT MANAGER**  
TOM SOMMER  
(509) 728-9677  
TOM@EVERGREENDRAFTING.COM

**PROJECT DESIGNER**  
LIA SOMMER  
(206) 717-5788  
LIA@EVERGREENDRAFTING.COM

## ZONING SUMMARY

**PROJECT PARCEL**  
ADDRESS:  
311 E FIRST STREET  
CLE ELUM, WA 98922  
PARCEL #: 563435

**LEGAL DESCRIPTION**  
CD, 3412; CLE ELUM; CLE ELUM ORIGINAL LOT 9; BLOCK 9

**ZONING**  
ZONING: GENERAL COMMERCIAL  
(UNDER REVIEW - HISTORIC DOWNTOWN ZONING CHANGE)

**SITE COVERAGE**  
PARCEL AREA: 6,000 SQ FT  
BUILDING FOOT PRINT: 1,263 SQ FT  
COVERED PORCH FOOT PRINT: 200 SQ FT  
LANDSCAPING AREA: 1400 SQ FT (23.3%)

**USE & OCCUPANCY**  
EXISTING: BUSINESS GROUP B - DENTIST OFFICE  
PROPOSED: ASSEMBLY GROUP A-2 - RESTAURANTS

MAX. FLOOR AREA ALLOWANCES PER OCCUPANT PER TABLE 1004.5  
KITCHEN 200 GROSS: 285/200=2  
ASSEMBLY WITH FIXED SEATS: INDOOR 29  
ASSEMBLY WITH FIXED SEATS: OUTDOOR 32  
TOTAL OCCUPANT LOAD: 63

**PARKING REQUIREMENTS**  
PER ZONING REVIEW AND DECISION ON ZONING CHANGE

**JURISDICTION**  
CITY OF CLE ELUM BUILDING DEPARTMENT  
119 WEST FIRST STREET  
CLE ELUM, WA 98922  
(509) 674-2262

## APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL MECHANICAL CODE  
2018 INTERNATIONAL FIRE CODE  
2018 UNIFORM PLUMBING CODE  
2018 WASHINGTON STATE ENERGY CODE

## VICINITY MAP



## SHEET INDEX

|    |                           |
|----|---------------------------|
| A1 | COVER & PROJECT DATA      |
| A2 | EXISTING CONDITION PLAN   |
| A3 | PROPOSED SITE PLAN        |
| A4 | PROPOSED LANDSCAPING PLAN |
| A5 | PROPOSED IRRIGATION PLAN  |
| A6 | EGRESS PLAN               |
| A7 | FLOOR PLANS               |
| A8 | EXTERIOR ELEVATIONS       |
| A9 | CROSS SECTIONS            |

**STRUCTURAL DRAWINGS**

|    |                          |
|----|--------------------------|
| S1 | GENERAL STRUCTURAL NOTES |
| S2 | FOUNDATION PLAN          |
| S3 | FIRST FLOOR FRAMING PLAN |
| S4 | ROOF FRAMING PLANS       |

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**PROJECT NAME**  
**TAP & BOTTLE SHOP**  
**REMODEL**

**PROJECT NUMBER:**  
**2021062**

**PROJECT ADDRESS:**  
311 E FIRST STREET  
CLE ELUM, WA 98922

PARCEL #: 563435

**OWNER:**  
NICK CRUZ  
NICKJCRUZ@GMAIL.COM  
(509)438-2064

REVISION

**DOCUMENT DATE**  
December 19, 2021

**DOCUMENT PHASE**  
CONSTRUCTION DOCUMENTS

**COVER & PROJECT**  
**DATA**

# A1



EVERGREEN DRAFTING, LLC  
 BLUEPRINTS | HOME DESIGN | PERMITTING  
 PROJECT MANAGER  
 TOM SOMMER  
 (509) 728-9677  
 TOM@EVERGREENDRAFTING.COM

PROJECT DESIGNER  
 LIA SOMMER  
 (206) 717-5788  
 LIA@EVERGREENDRAFTING.COM

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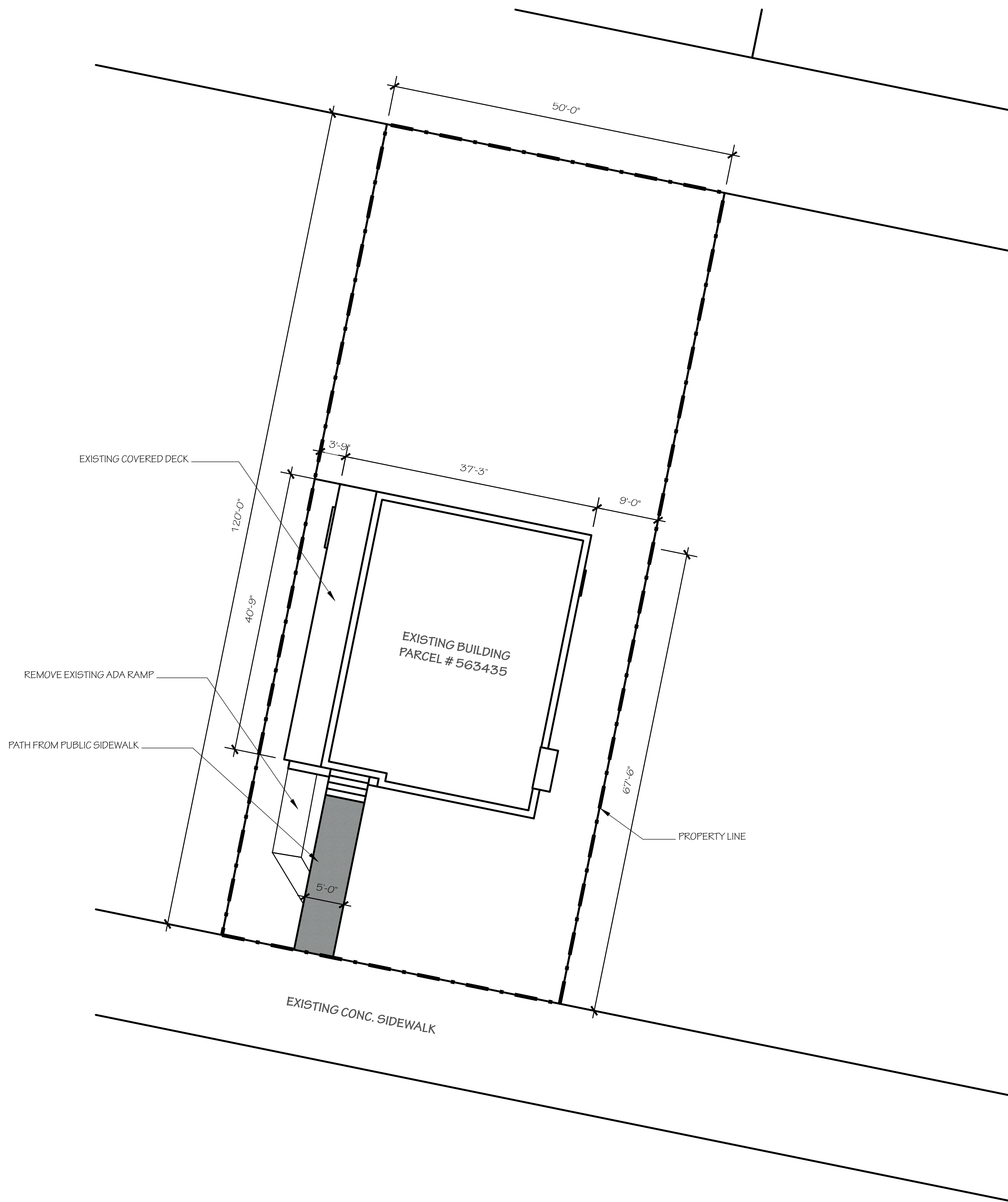
PROJECT NAME  
**TAP & BOTTLE SHOP  
 REMODEL**

PROJECT NUMBER:  
**2021062**

PROJECT ADDRESS:  
 311 E FIRST STREET  
 CLE ELUM, WA 98922

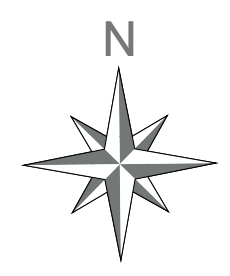
PARCEL #: 563435

OWNER:  
 NICK CRUZ  
 NICK\_CRUZ@GMAIL.COM  
 (509)438-2064



1 EXISTING CONDITIONS PLAN  
 A2 1" = 50'

2 EXISTING CONDITIONS PLAN  
 A2 1" = 10'



| REVISION |
|----------|
|          |
|          |
|          |
|          |
|          |

DOCUMENT DATE  
 December 19, 2021  
 DOCUMENT PHASE  
 CONSTRUCTION DOCUMENTS

**EXISTING  
 CONDITIONS PLAN**

**A2**



EVERGREEN DRAFTING, LLC  
 BLUEPRINTS | HOME DESIGN | PERMITTING  
 PROJECT MANAGER  
 TOM SOMMER  
 (509) 728-9677  
 TOM@EVERGREENDRAFTING.COM

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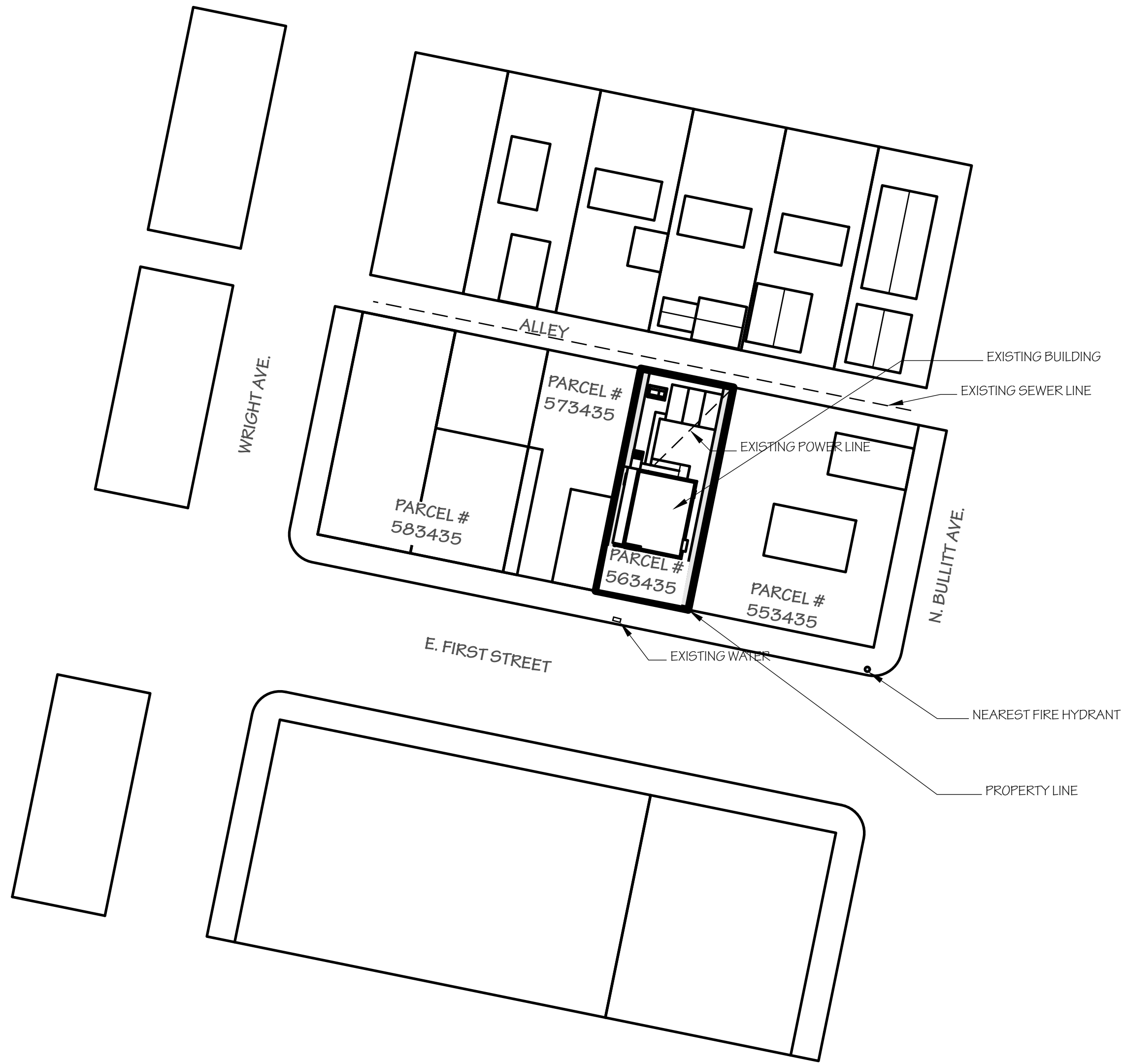
PROJECT NAME  
**TAP & BOTTLE SHOP  
 REMODEL**

PROJECT NUMBER:  
**2021062**

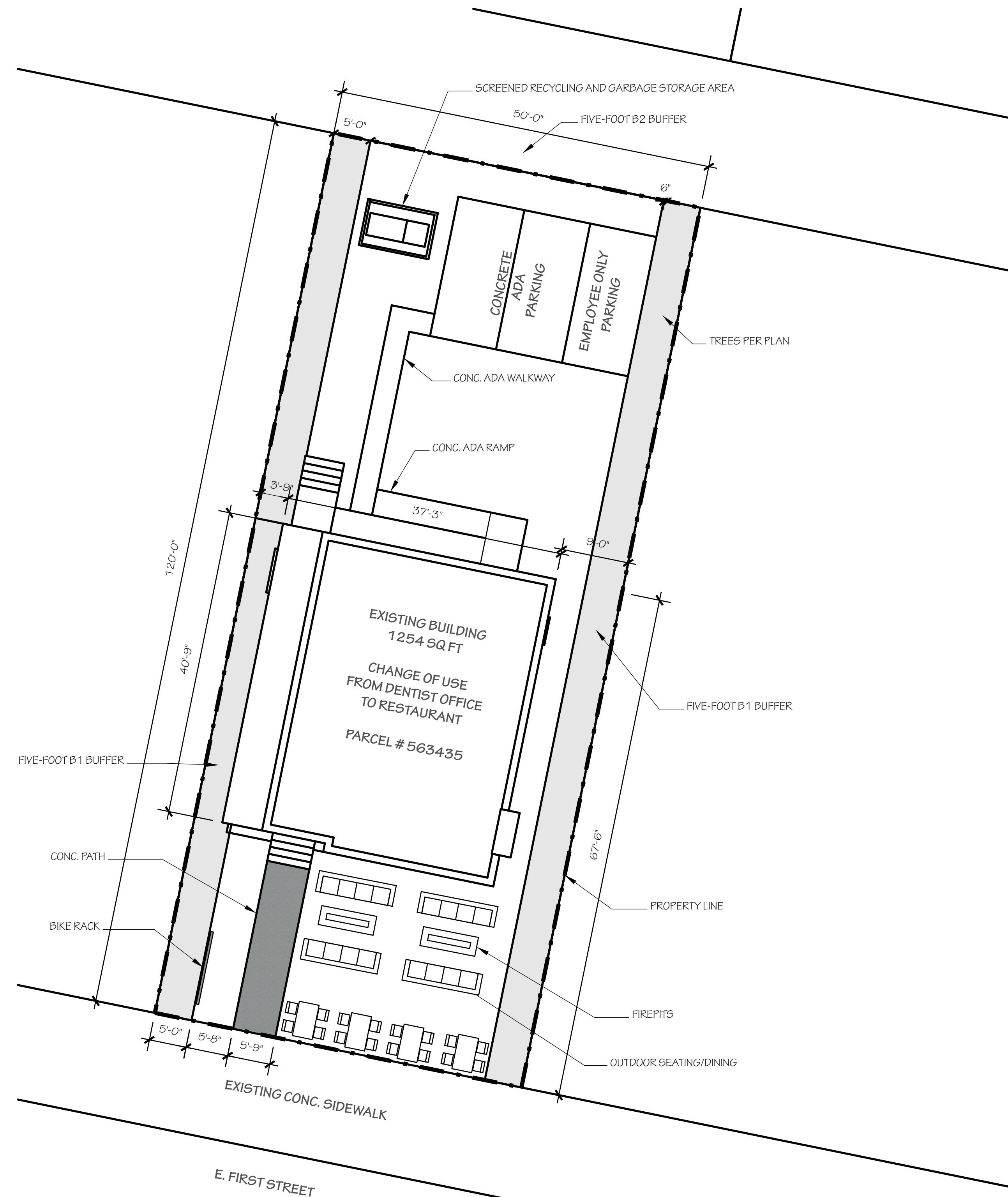
PROJECT ADDRESS:  
 311 E FIRST STREET  
 CLE ELUM, WA 98922

PARCEL #: 563435

OWNER:  
 NICK CRUZ  
 NICK\_CRUZ@GMAIL.COM  
 (509) 438-2064



1 PROPOSED SITE PLAN  
 A3 1" = 50'



2 PROPOSED SITE PLAN  
 A3 1" = 10'

**PROJECT PARCEL**  
 ADDRESS:  
 311 E FIRST STREET  
 CLE ELUM, WA 98922  
 PARCEL #: 563435

**LEGAL DESCRIPTION**  
 CD, 3412; CLE ELUM; CLE ELUM ORIGINAL LOT 9; BLOCK 9

**ZONING**  
 ZONING: GENERAL COMMERCIAL

**SITE COVERAGE**  
 PARCEL AREA: 6,000 SQ FT  
 BUILDING FOOT PRINT: 1,263 SQ FT  
 COVERED PORCH FOOT PRINT: 200 SQ FT  
 LANDSCAPING AREA: 1400 SQ FT (23.3%)

**PROJECT DESCRIPTION**  
 THE PROPOSAL WOULD CONVERT THE PREVIOUS BUSINESS USE AND CURRENTLY UNOCCUPIED BUILDING TO A TAP & BOTTLE SHOP WITH A RESTAURANT COMPONENT INCLUDING INDOOR AND OUTDOOR SEATING. THE PROPOSAL INCLUDES TENANT IMPROVEMENT REMODEL TO THE INTERIOR OF THE STRUCTURE AND REPLACING THE ADA ACCESS RAMP.

**USE & OCCUPANCY**  
 EXISTING: BUSINESS GROUP B - DENTIST OFFICE  
 PROPOSED: ASSEMBLY GROUP A-2 - RESTAURANTS  
 MAX. FLOOR AREA ALLOWANCES PER OCCUPANT PER TABLE 1004.5  
 KITCHEN 200 GROSS: 285/200=2  
 ASSEMBLY WITH FIXED SEATS: INDOOR 29  
 ASSEMBLY WITH FIXED SEATS: OUTDOOR 32  
 TOTAL OCCUPANT LOAD: 63

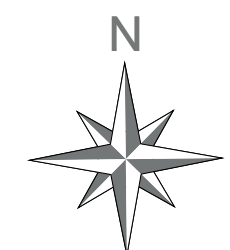
**PARKING REQUIREMENTS**  
 PER ZONING REVIEW AND DECISION ON ZONING CHANGE

REVISION

DOCUMENT DATE  
 December 19, 2021

DOCUMENT PHASE  
 CONSTRUCTION DOCUMENTS

**PROPOSED SITE  
 PLAN**



**A3**



EVERGREEN DRAFTING, LLC  
 BLUEPRINTS | HOME DESIGN | PERMITTING  
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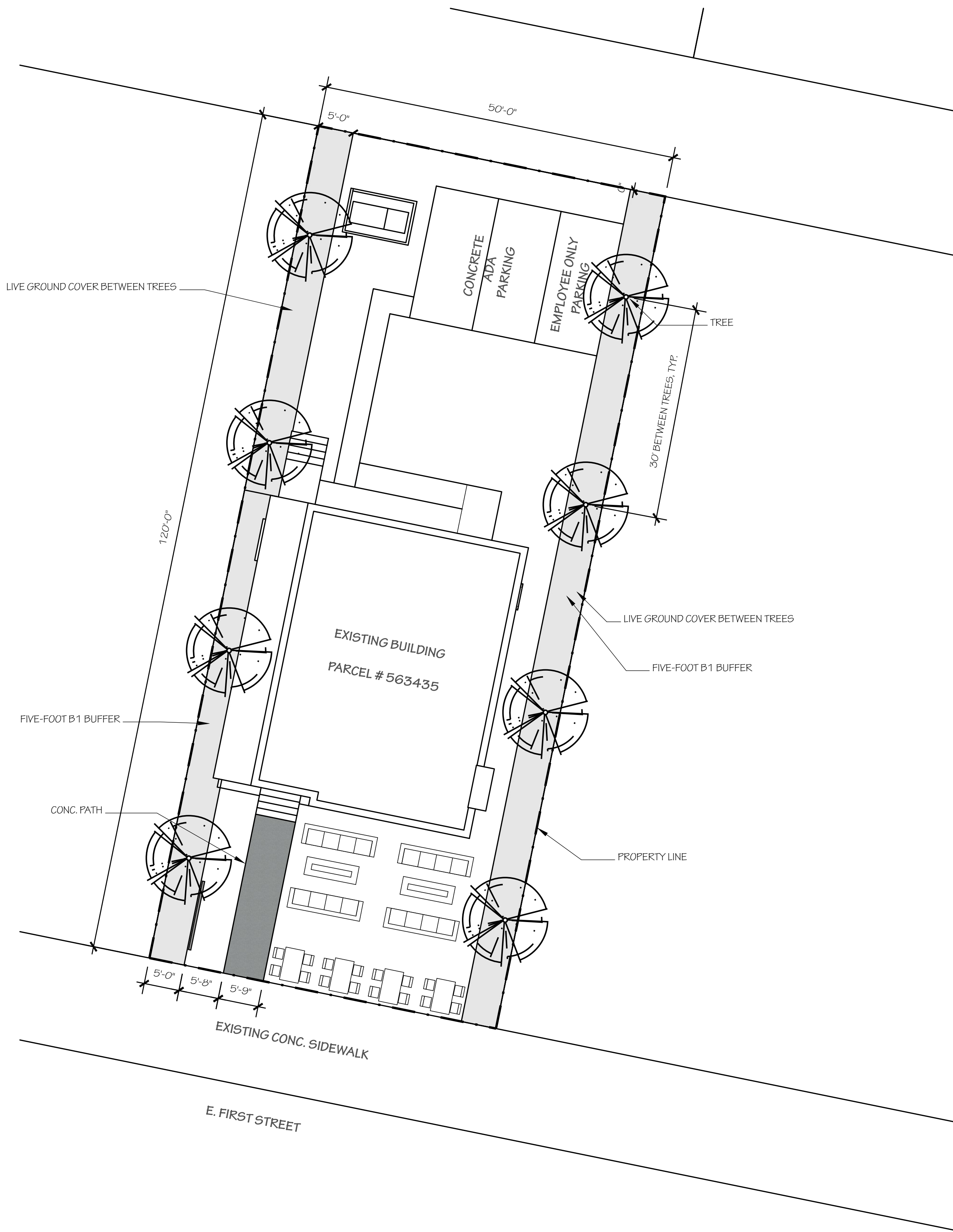
PROJECT NAME  
**TAP & BOTTLE SHOP  
 REMODEL**

PROJECT NUMBER:  
**2021062**

PROJECT ADDRESS:  
 311 E FIRST STREET  
 CLE ELUM, WA 98922

PARCEL #: 563435

OWNER:  
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 (509)438-2064



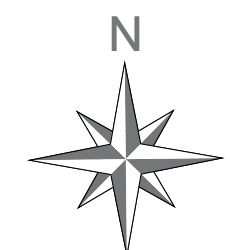
1 PROPOSED LANDSCAPING PLAN  
 A4 1" = 10'

| REVISION |
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|          |
|          |
|          |
|          |

DOCUMENT DATE  
 December 19, 2021

DOCUMENT PHASE  
 CONSTRUCTION DOCUMENTS

**PROPOSED  
 LANDSCAPING PLAN**



**A4**



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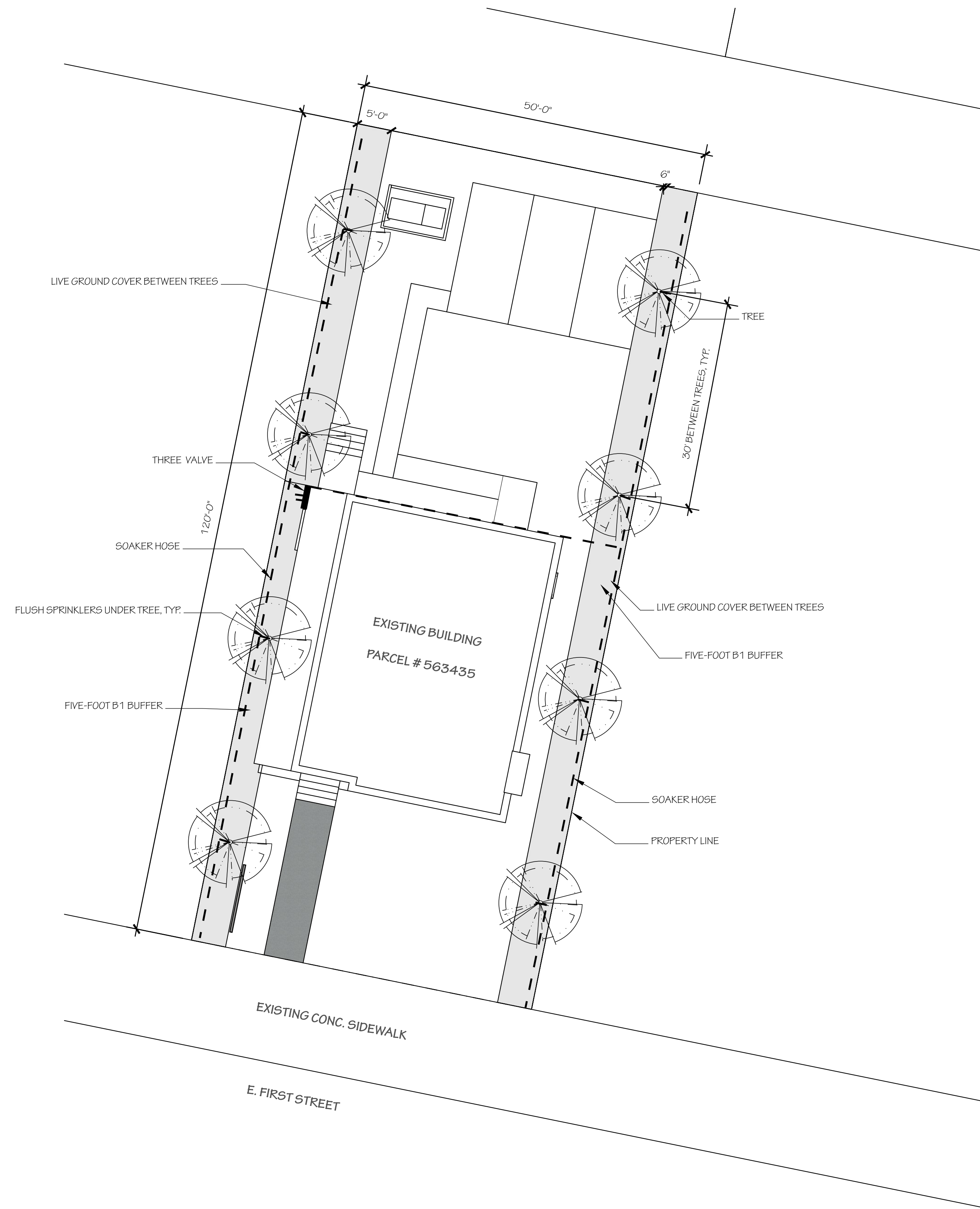
PROJECT NAME  
**TAP & BOTTLE SHOP  
 REMODEL**

PROJECT NUMBER:  
**2021062**

PROJECT ADDRESS:  
 311 E FIRST STREET  
 CLE ELUM, WA 98922

PARCEL #: 563435

OWNER:  
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1 PROPOSED IRRIGATION PLAN  
 A5 1" = 10'

REVISION

DOCUMENT DATE  
 December 19, 2021

DOCUMENT PHASE  
 CONSTRUCTION DOCUMENTS

**PROPOSED  
 IRRIGATION PLAN**

**A5**



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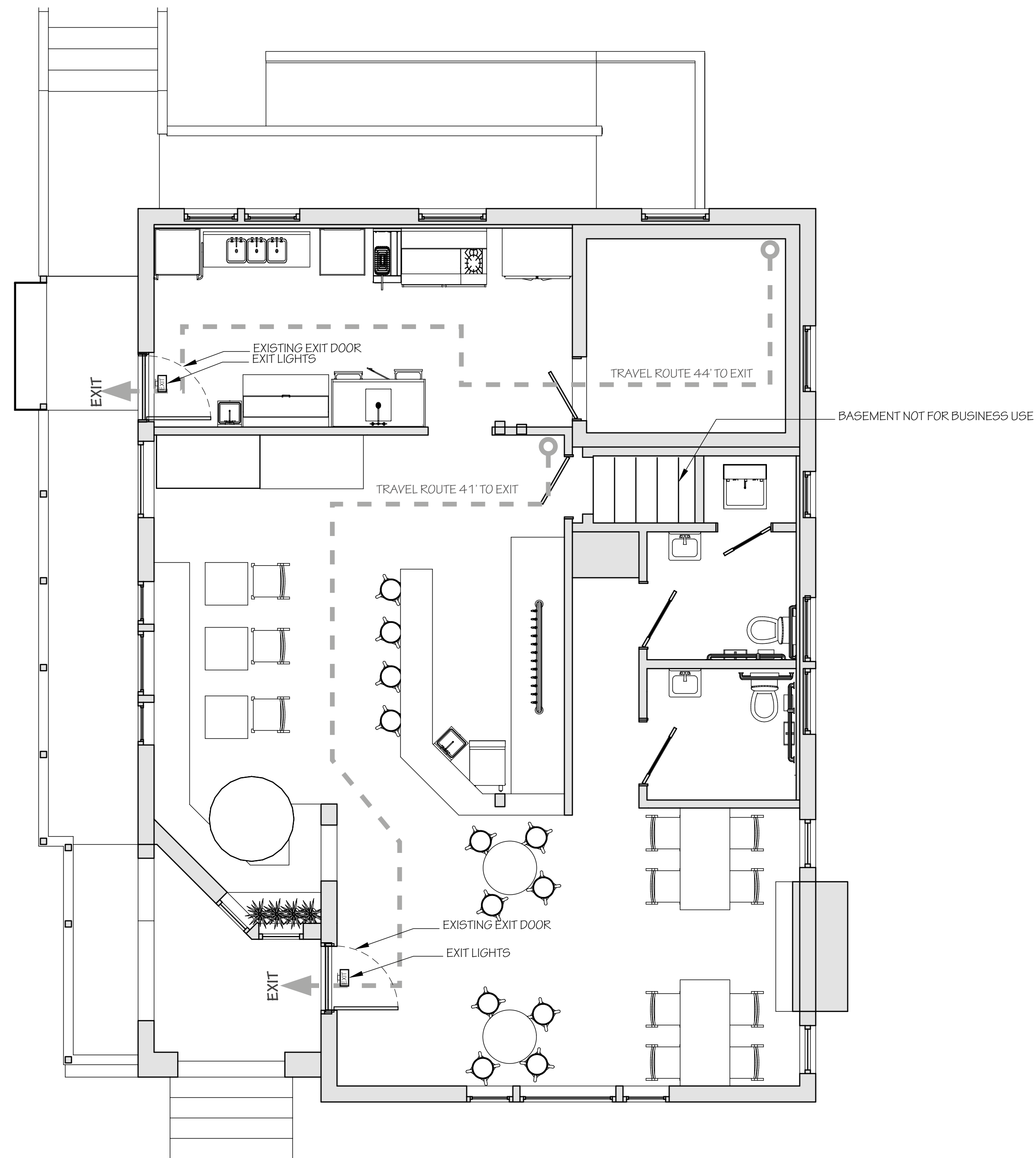
PROJECT NAME  
**TAP & BOTTLE SHOP  
REMODEL**

PROJECT NUMBER:  
**2021062**

PROJECT ADDRESS:  
311 E FIRST STREET  
CLE ELUM, WA 98922

PARCEL #: 563435

OWNER:  
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1 EGRESS PLAN  
A6 1/4" = 1'-0"

REVISION

DOCUMENT DATE  
December 19, 2021

DOCUMENT PHASE  
CONSTRUCTION DOCUMENTS

**EGRESS PLAN**

**A6**





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PROJECT NAME  
**TAP & BOTTLE SHOP  
 REMODEL**

PROJECT NUMBER:  
**2021062**

PROJECT ADDRESS:  
 311 E FIRST STREET  
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PARCEL #: 563435

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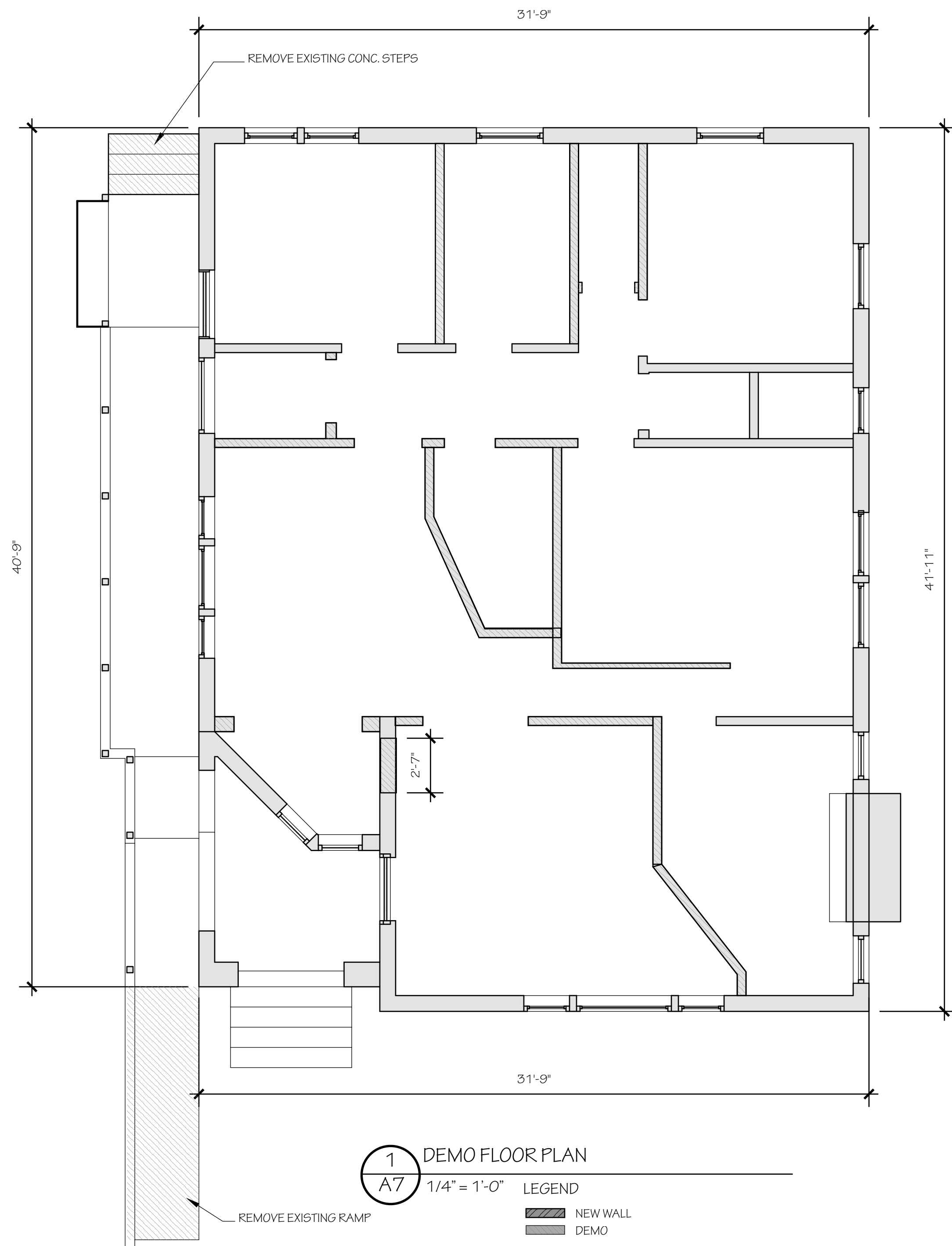
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DOCUMENT DATE  
 December 19, 2021

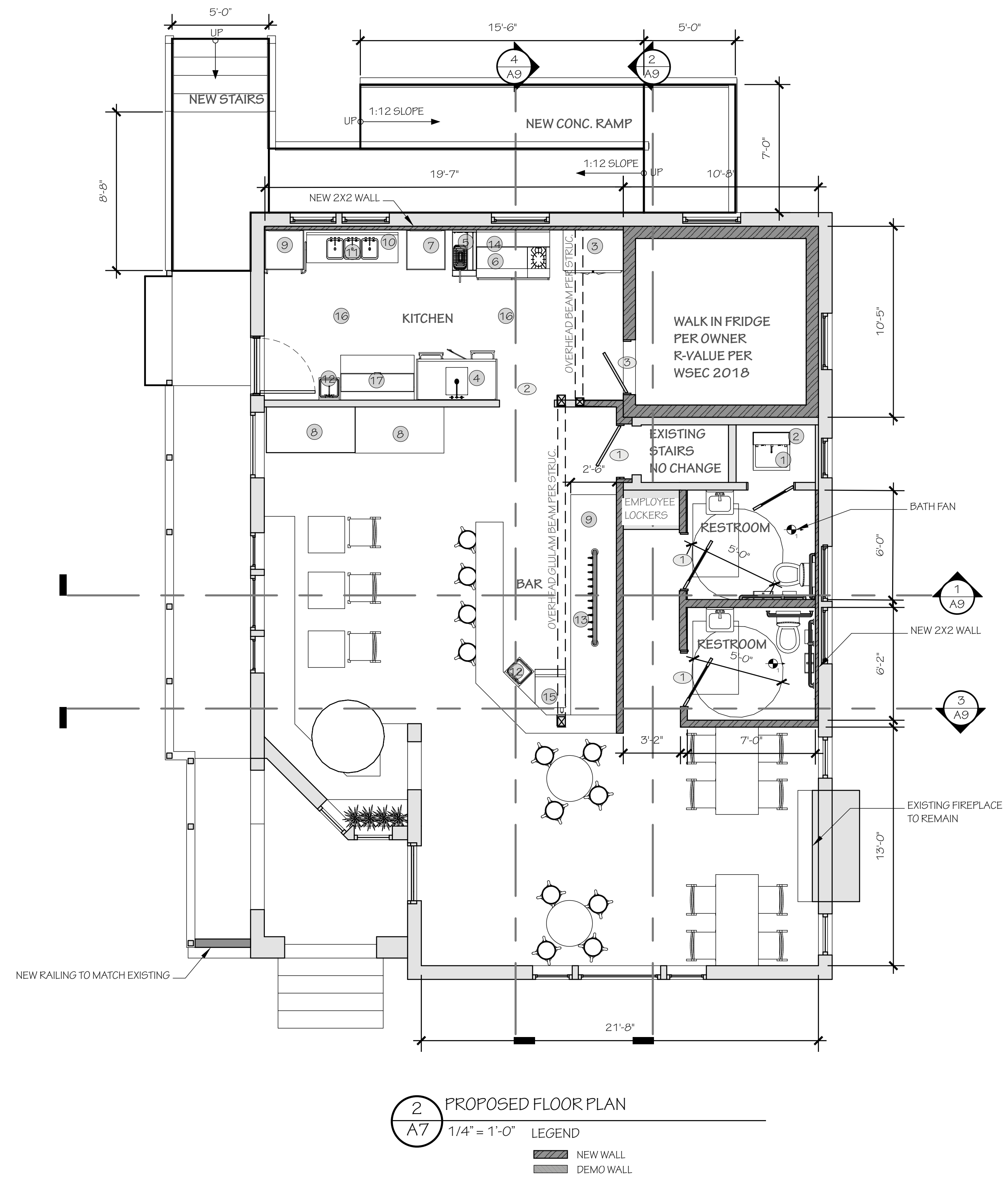
DOCUMENT PHASE  
 CONSTRUCTION DOCUMENTS

**FLOOR PLANS**

**A7**



| EQUIPMENT SCHEDULE |       |                    |      |       |                  |
|--------------------|-------|--------------------|------|-------|------------------|
| MARK               | COUNT | ITEM NAME          | MARK | COUNT | ITEM NAME        |
| 1                  | 1     | UTILITY FLOOR SINK | 11   | 1     | GREASE TRAP      |
| 2                  | 1     | UTILITY SHELF      | 12   | 2     | HAND SINK        |
| 3                  | 1     | FREEZER            | 13   | 1     | BOTTOMS UP TAPS  |
| 4                  | 1     | PREP SINK          | 14   | 1     | VENTILATION HOOD |
| 5                  | 1     | DEEP FRYER         | 15   | 1     | ICE MAKER        |
| 6                  | 1     | RANGE              | 16   | 2     | FLOOR DRAIN      |
| 7                  | 1     | MOBILE WORK TABLE  | 17   | 1     | FOOD PREP TABLE  |
| 8                  | 2     | DISPLAY FRIDGE     |      |       |                  |
| 9                  | 2     | DISHWASHER         |      |       |                  |
| 10                 | 1     | DISH SINK          |      |       |                  |



| DOOR SCHEDULE |          |          |       |        |       |                                   |
|---------------|----------|----------|-------|--------|-------|-----------------------------------|
|               | DOOR NO. | QUANTITY | WIDTH | HEIGHT | TYPE  | NOTES                             |
| INTERIOR      | 1        | 3        | 3'-0" | 7'-0"  | SWING |                                   |
| INTERIOR      | 2        | 1        | 3'-0" | 7'-0"  | SWING | SWINGING TRAFFIC DOOR WITH WINDOW |
| INTERIOR      | 3        | 1        | 3'-0" | 7'-0"  | SWING | INSULATED WALK-IN FRIDGE DOOR     |

DOOR GENERAL NOTES:

- DOOR SIZES ARE UNIT SIZES AND NOT ROUGH OPENINGS. CONTRACTOR SHALL DETERMINE EXACT RO REQUIRED FOR DOOR AND FRAME.
- WHERE EXTERIOR DOORS ARE BOUND TIGHT TO FLOOR AND FRAME ABOVE, ADJUST VERTICAL DIMENSION ACCORDINGLY TO ACCOMMODATE FOR GYP AND FLOOR FINISH THICKNESS.



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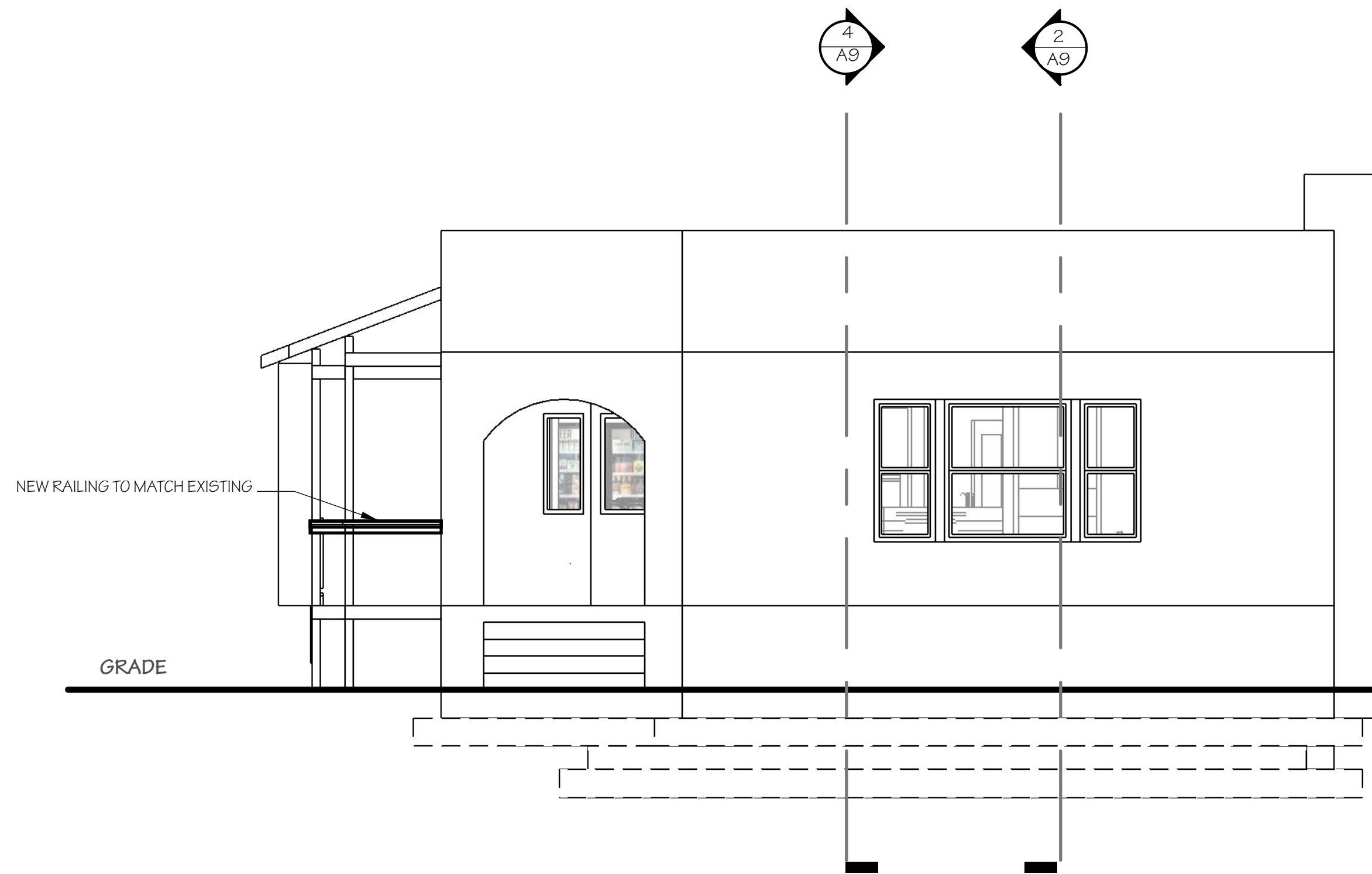
PROJECT NAME  
**TAP & BOTTLE SHOP  
 REMODEL**

PROJECT NUMBER:  
**2021062**

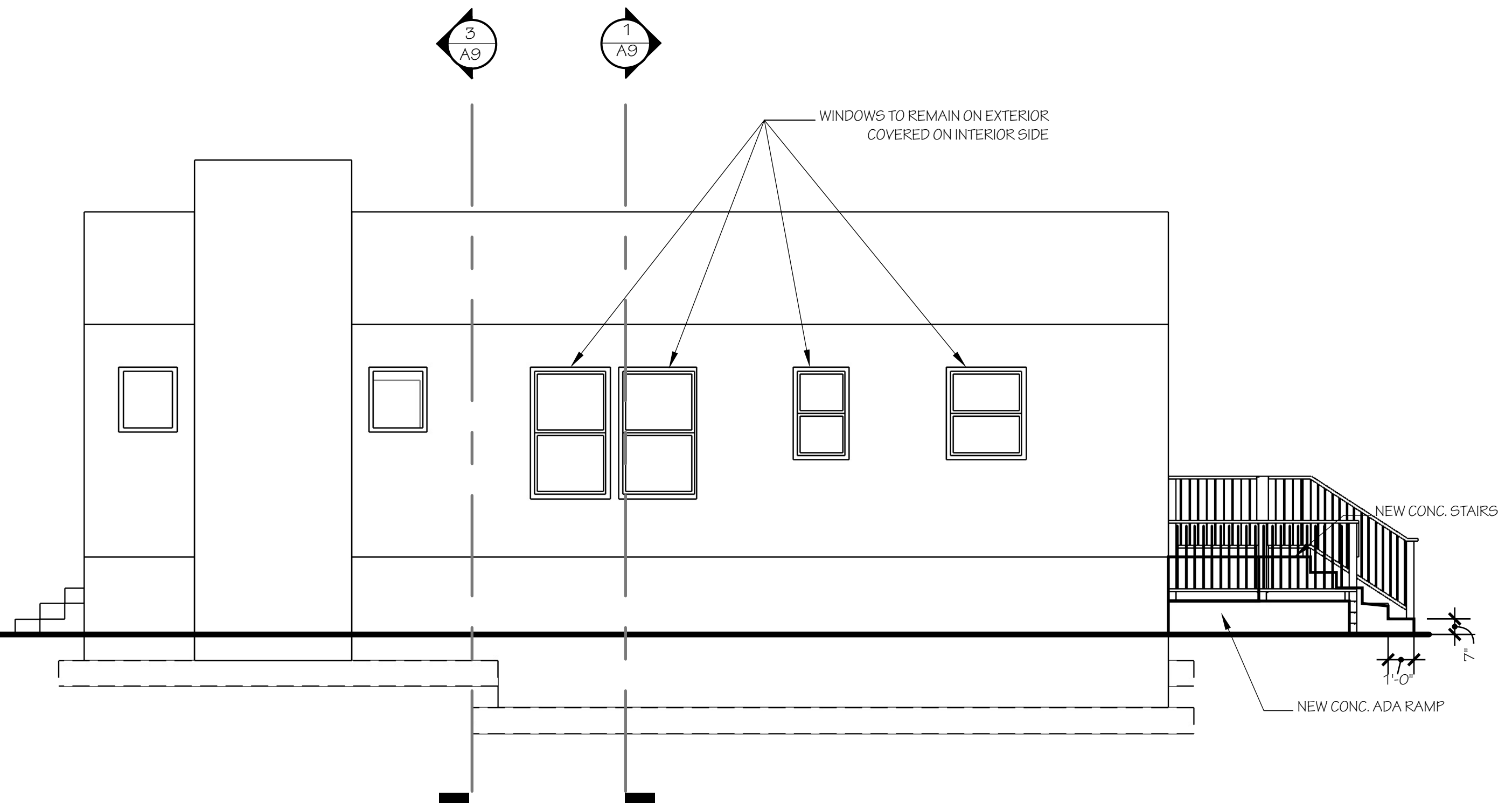
PROJECT ADDRESS:  
 311 E FIRST STREET  
 CLE ELUM, WA 98922

PARCEL #: 563435

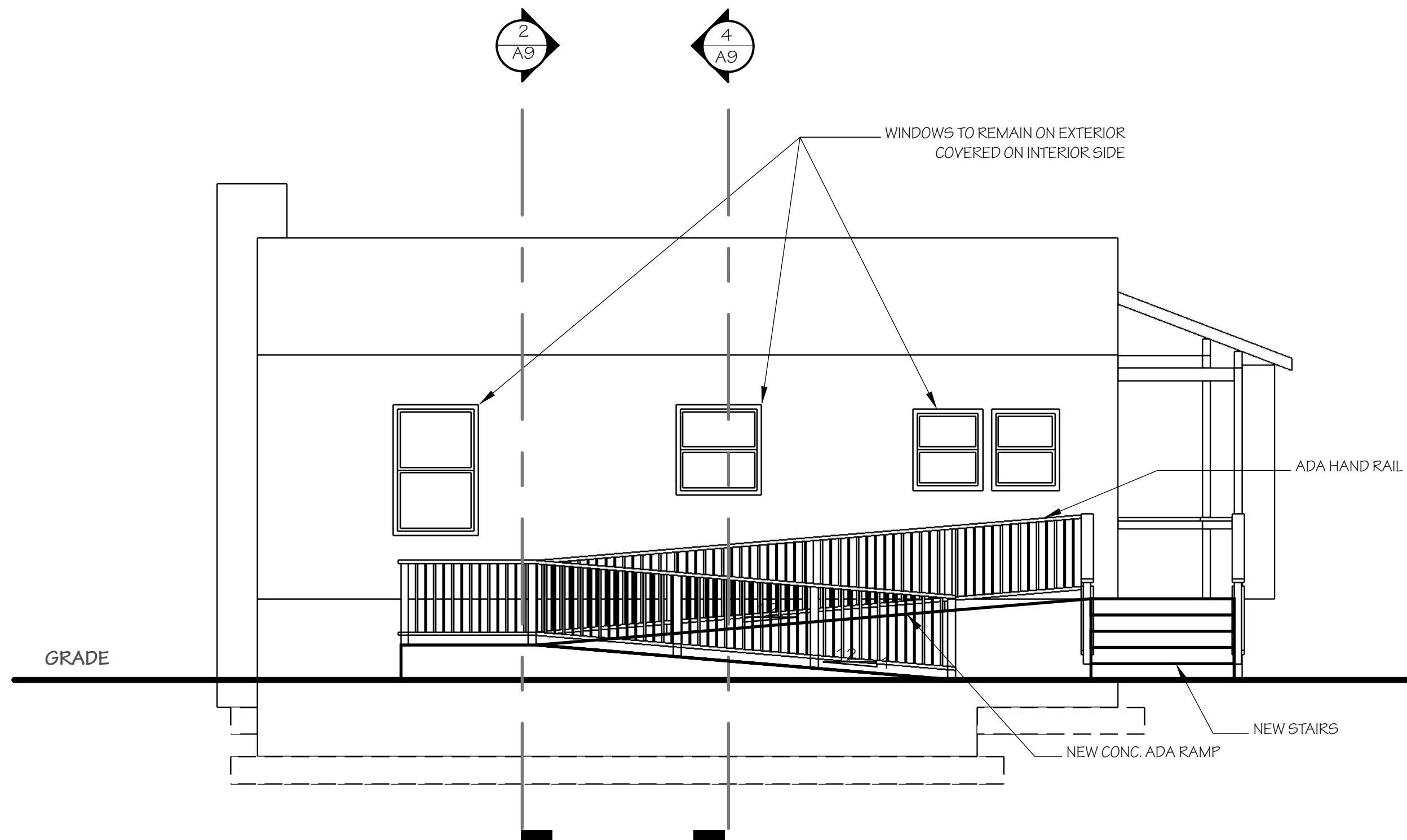
OWNER:  
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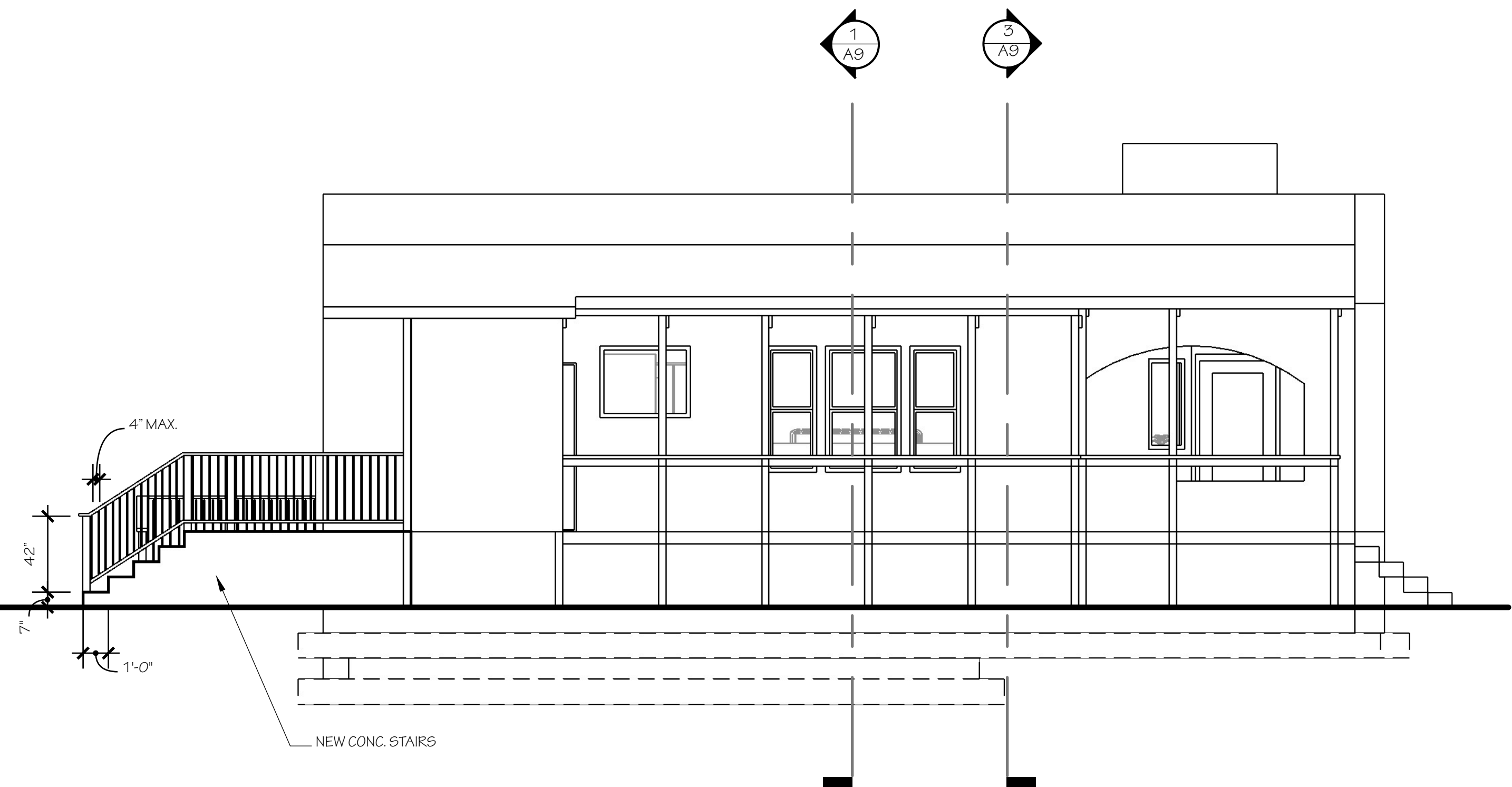
1 SOUTH ELEVATION  
 A8 1/4" = 1'-0"



2 EAST ELEVATION  
 A8 1/4" = 1'-0"



3 NORTH ELEVATION  
 A8 1/4" = 1'-0"



4 WEST ELEVATION  
 A8 1/4" = 1'-0"

REVISION

| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |

DOCUMENT DATE  
 December 19, 2021

DOCUMENT PHASE  
 CONSTRUCTION DOCUMENTS

**EXTERIOR  
 ELEVATIONS**

**A8**



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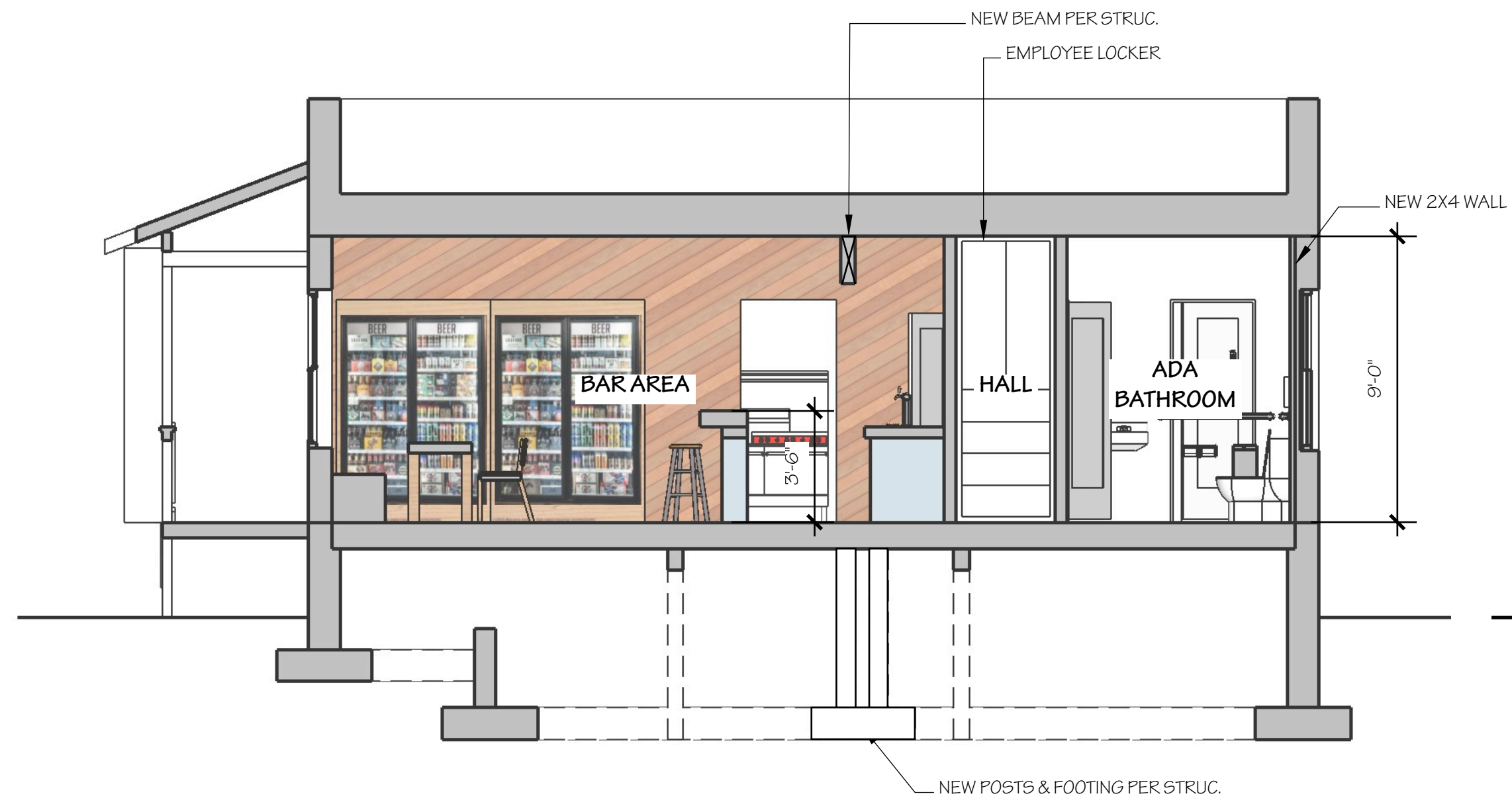
PROJECT NAME  
**TAP & BOTTLE SHOP  
 REMODEL**

PROJECT NUMBER:  
**2021062**

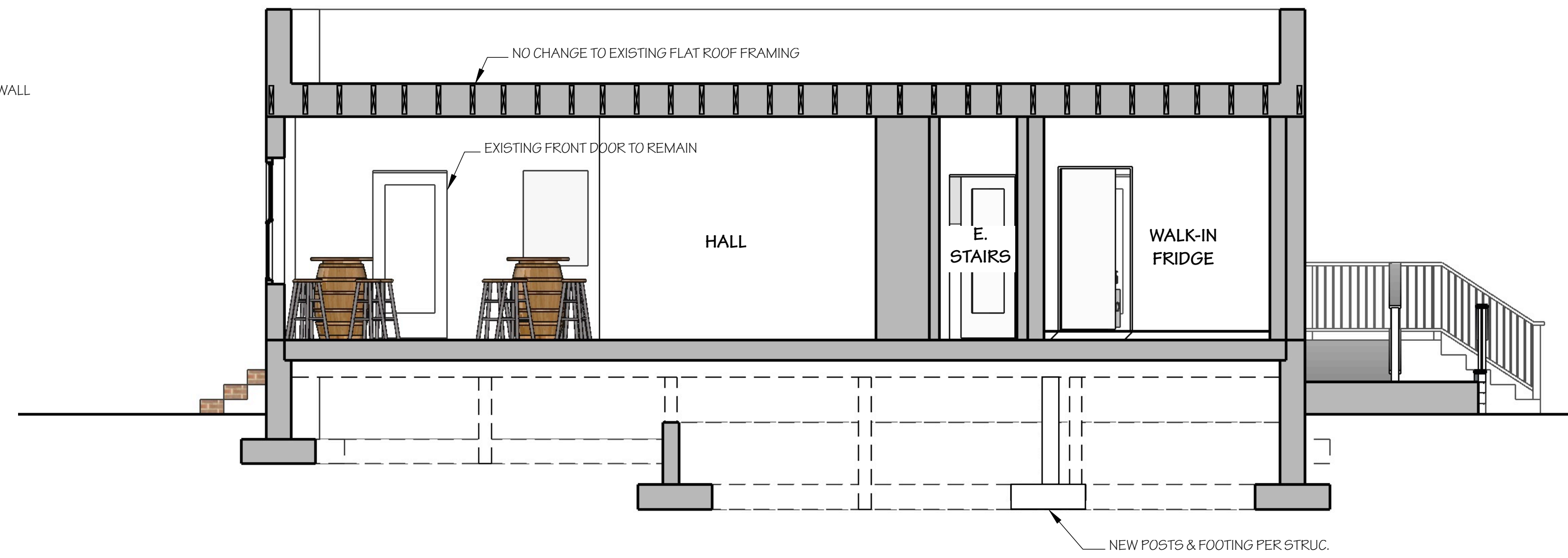
PROJECT ADDRESS:  
 311 E FIRST STREET  
 CLE ELUM, WA 98922

PARCEL #: 563435

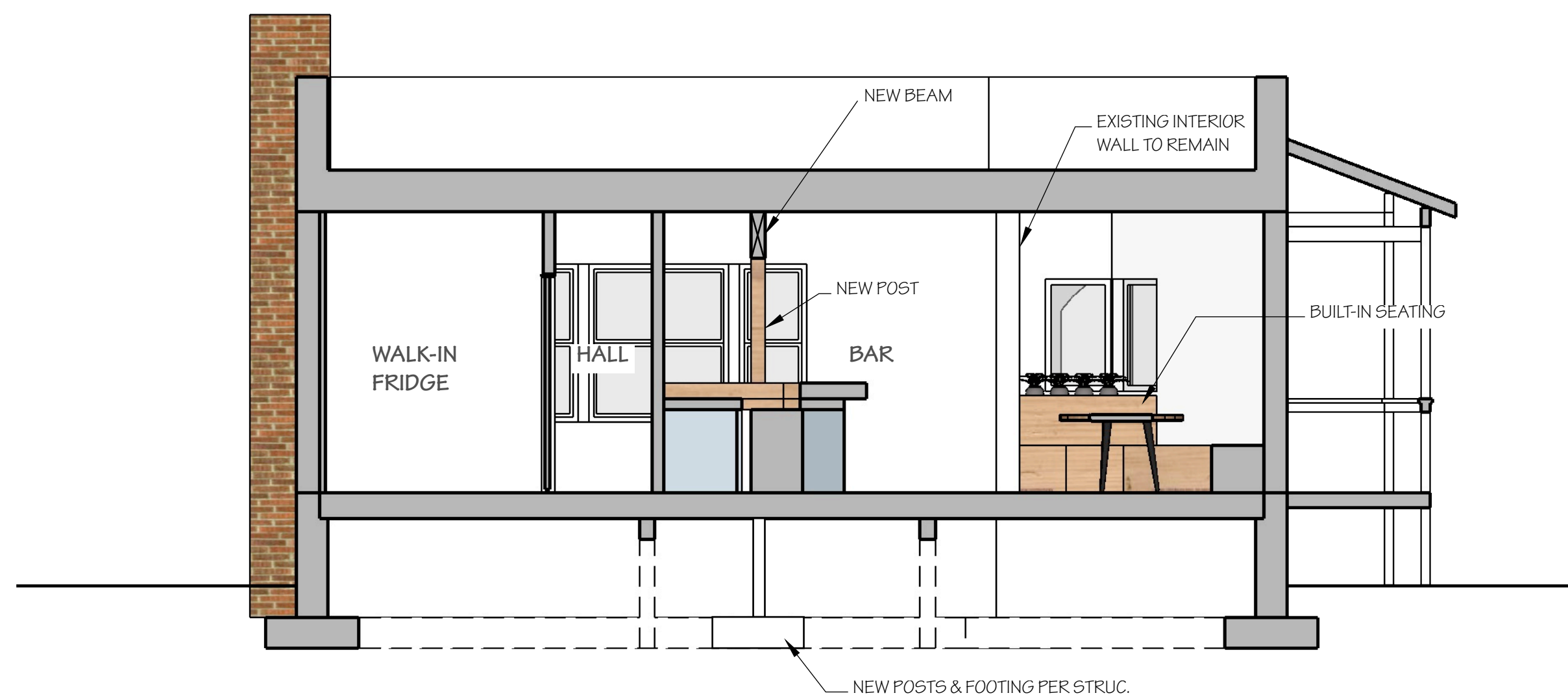
OWNER:  
 NICK CRUZ  
 NICK.CRUZ@GMAIL.COM  
 (509) 438-2064



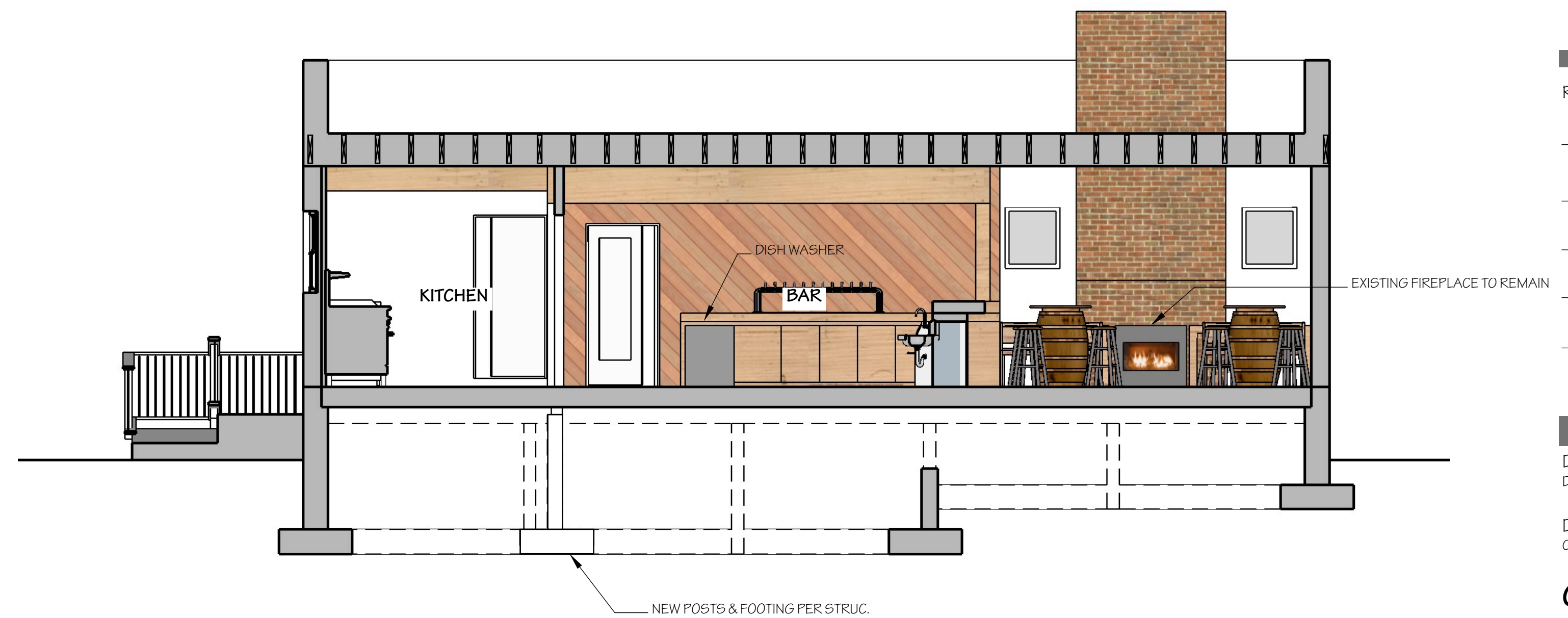
1 CROSS SECTION  
 A9 1/4" = 1'-0"



2 CROSS SECTION  
 A9 1/4" = 1'-0"



3 CROSS SECTION  
 A9 1/4" = 1'-0"



4 CROSS SECTION  
 A9 1/4" = 1'-0"

REVISION

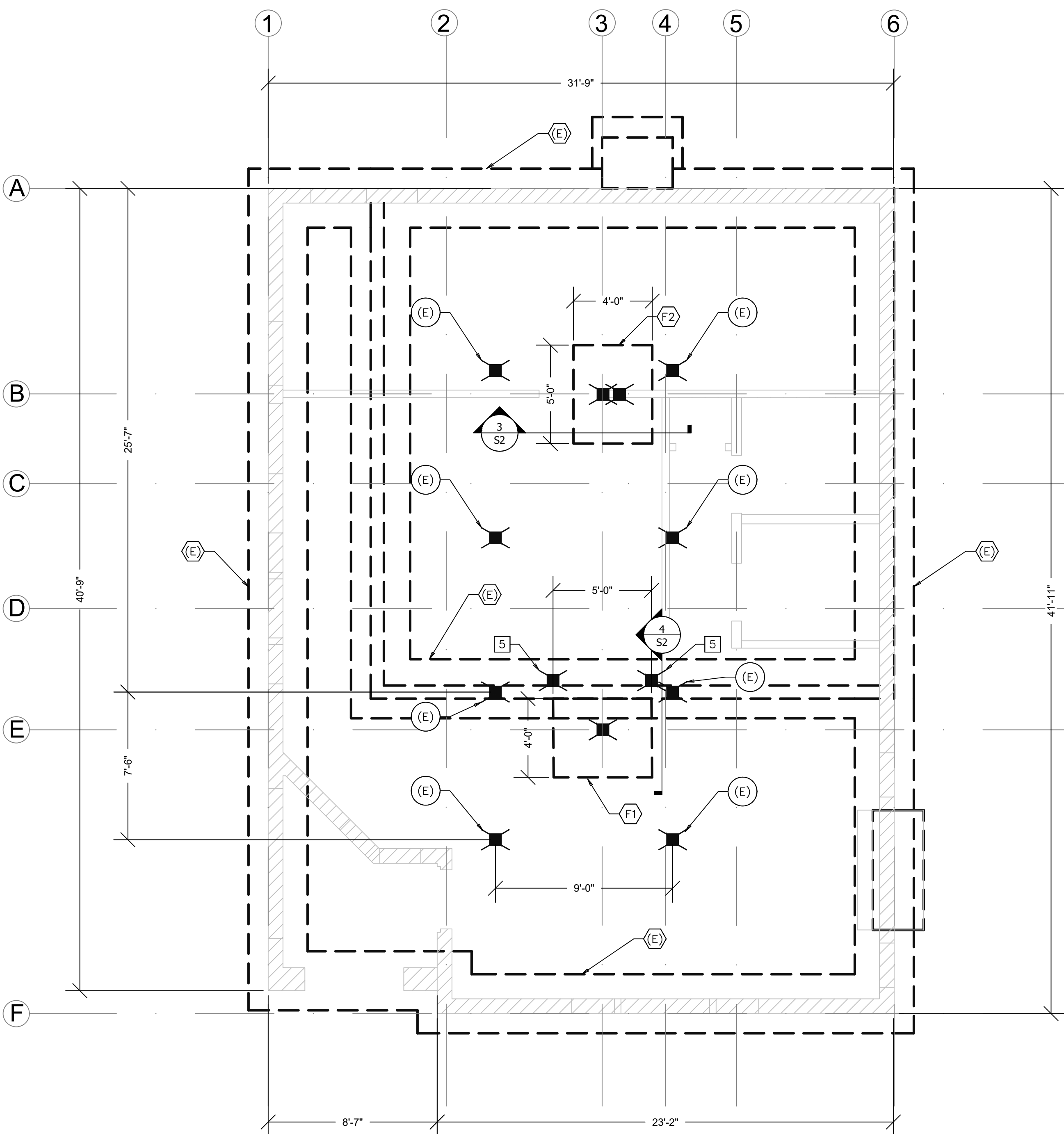
DOCUMENT DATE  
 December 19, 2021

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 CONSTRUCTION DOCUMENTS

**CROSS SECTIONS**

**A9**



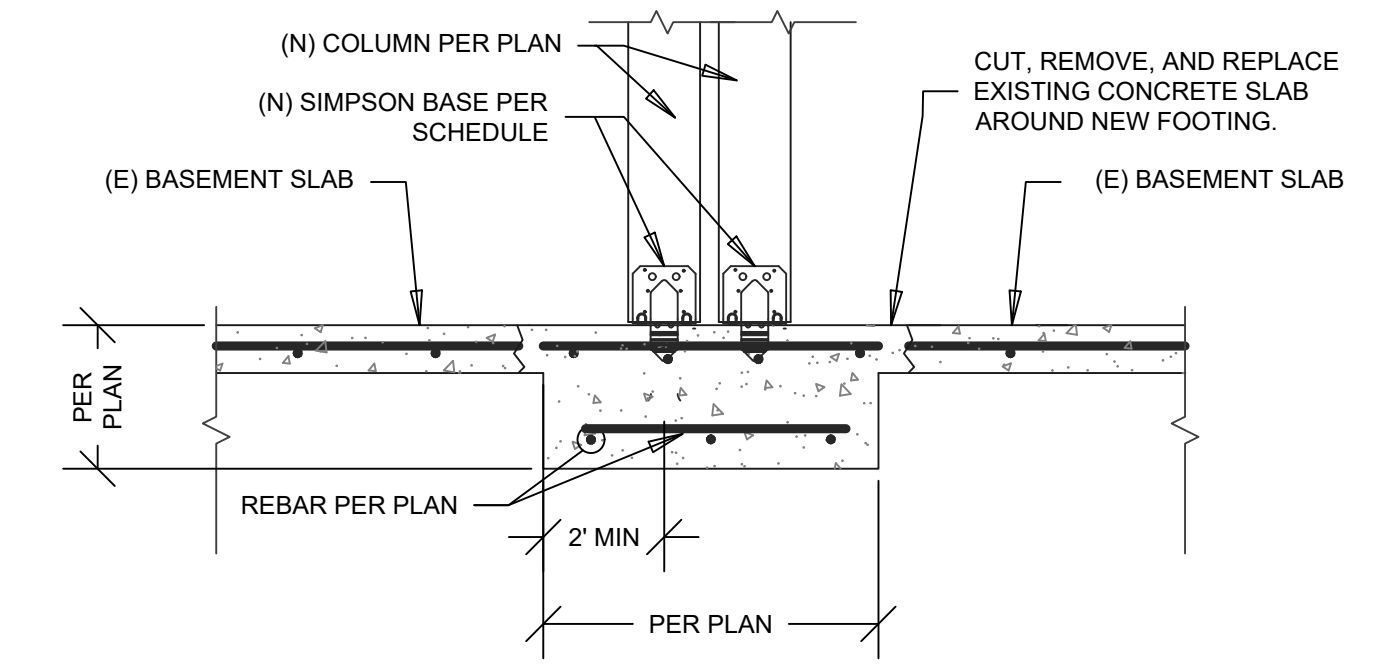


**1 FOUNDATION PLAN**  
Scale: 1/4" = 1'-0"

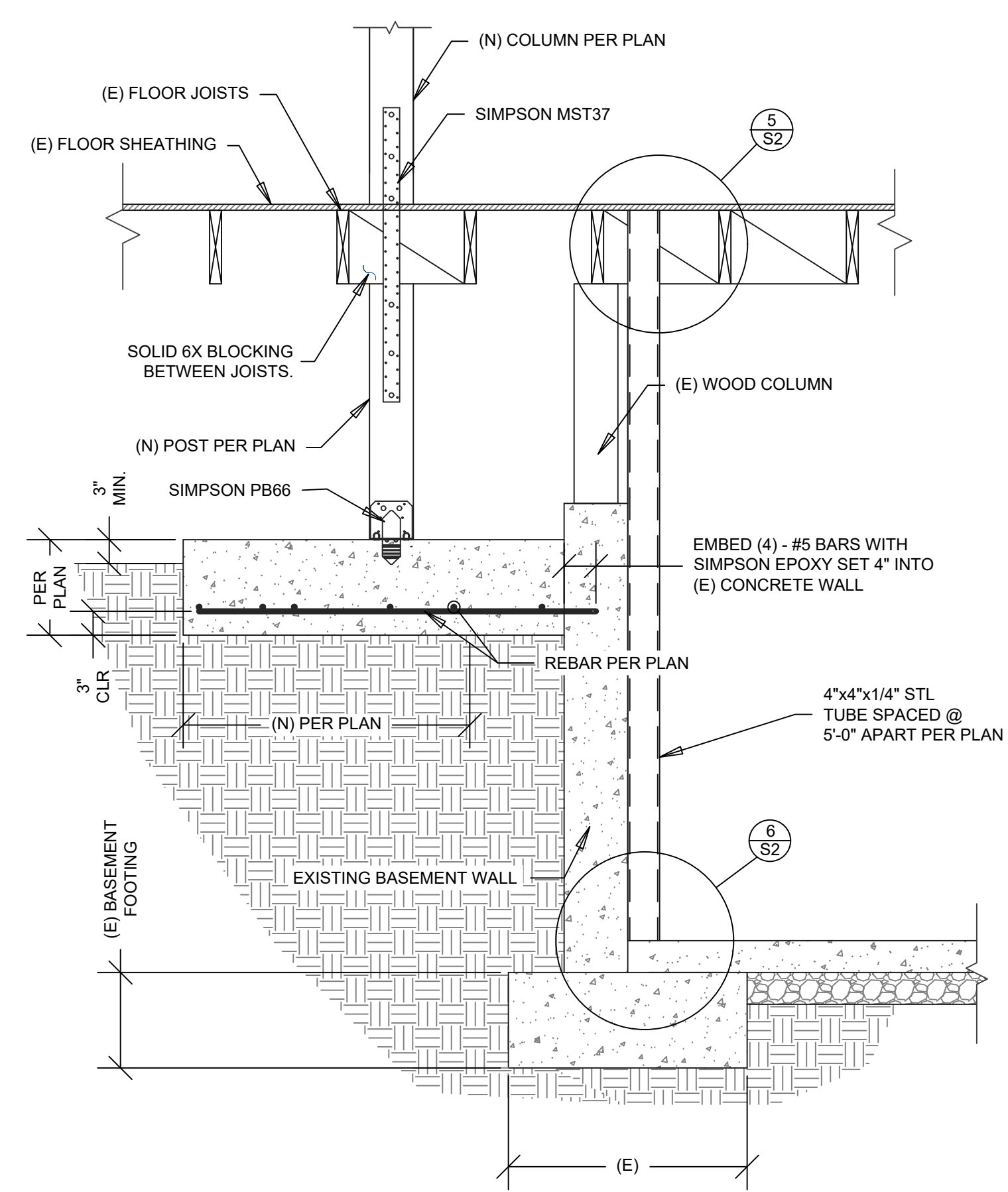
| MARK | DIMENSION  |           |               | BOTTOM REINFORCEMENT |            | TOP REINFORCEMENT |            | DETAIL NO./REMARKS |
|------|------------|-----------|---------------|----------------------|------------|-------------------|------------|--------------------|
|      | LENGTH "A" | WIDTH "B" | THICKNESS "D" | LONGITUDINAL         | TRANSVERSE | LONGITUDINAL      | TRANSVERSE |                    |
| F1   | 6'         | 5'        | 8"            | (6) # 5              | (6) # 5    | -                 | -          | 4/S2               |
| F2   | 5'         | 4'        | 12"           | (5) # 5              | #7 @ 15"   | -                 | -          | 3/S2               |

BOTTOM OF FOOTING SHALL BEAR ON FIRM NATURAL UNDISTURBED SOIL, COMPACTED STRUCTURAL FILL, OR UNDISTURBED SOLID BEDROCK, AS APPLICABLE. AT LEAST 1'-6" OR FROST DEPTH BELOW PAD SUBGRADE (LOWEST ADJACENT GRADE). REFER TO SHEET S1 FOR ADDITIONAL INFORMATION.

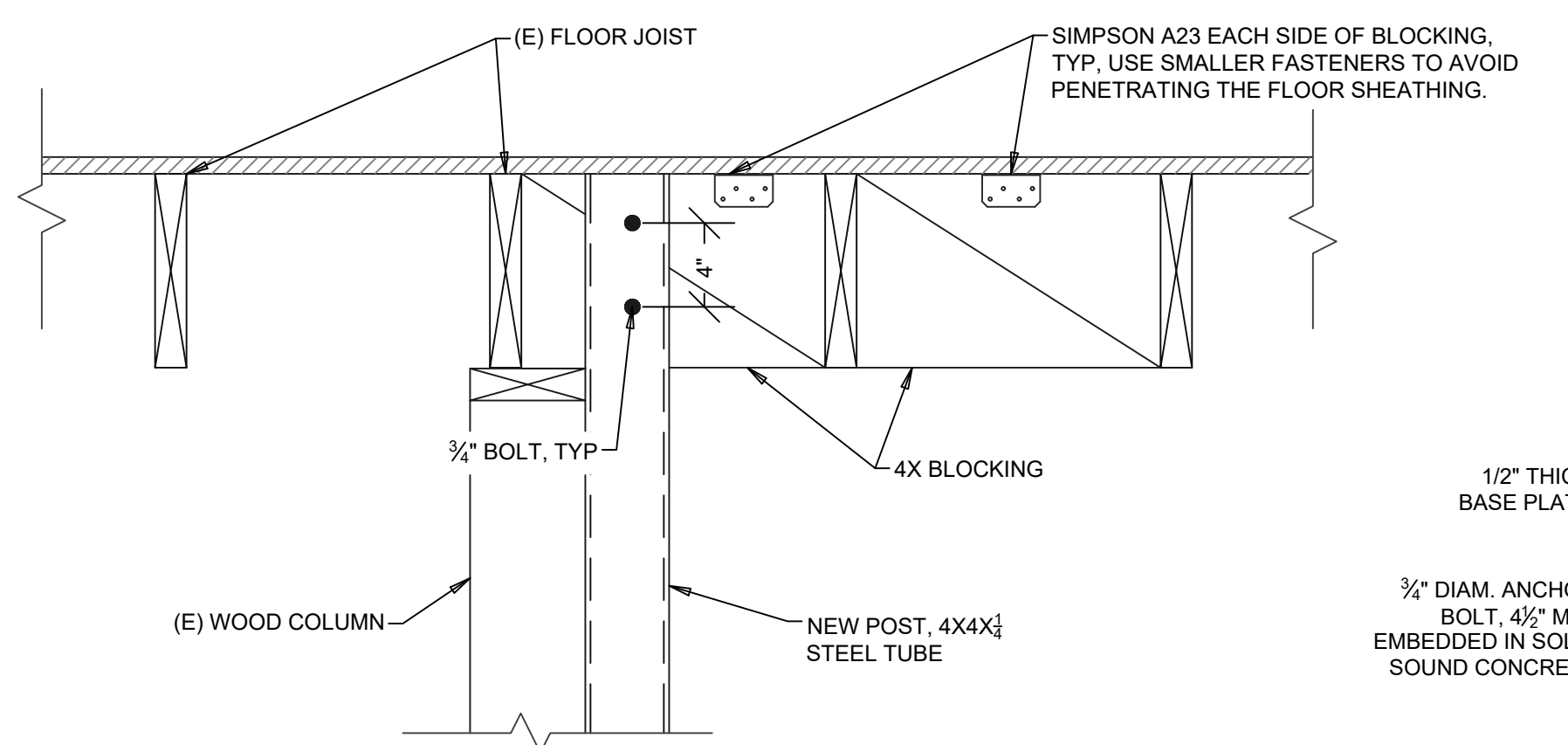
**2 FOOTING SCHEDULE**  
N.T.S.



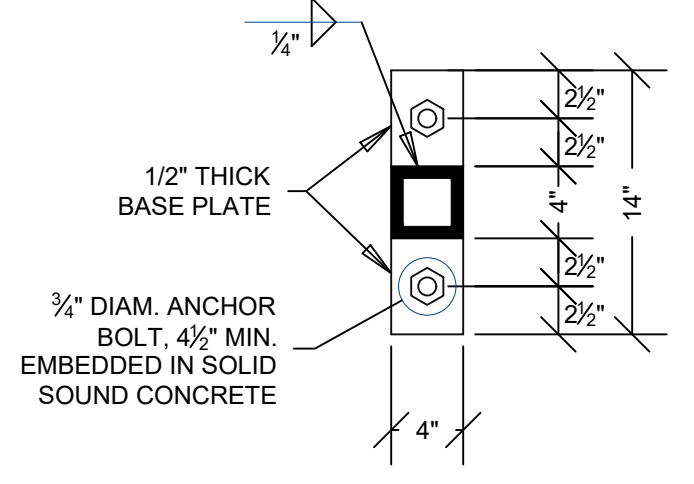
**3 (N) COLUMN TO (N) FOOTING DETAIL**  
Scale: N.T.S.



**4 POST CONNECTION AT FOUNDATION**  
SCALE: N.T.S.



**5 STEEL POST TOP CONNECTION**  
Scale: N.T.S.



**6 BASE PLATE DETAIL**  
Scale: N.T.S.

- LEGEND:**
- SHEAR WALL AND/OR LOAD BEARING WALL ABOVE THIS FLOOR.
  - NON-LOAD BEARING WALL ABOVE THIS FLOOR.
  - COLUMN SUPPORTING NEXT FLOOR/ROOF UP.
  - STUB, SHORT POST.
  - INDICATES SHEET NOTES.
  - INDICATES FOOTING MARK, REFER TO FOOTING SCHEDULE.
  - INDICATES COLUMN MARK, REFER TO COLUMN SCHEDULE.
  - NUMERICAL VALUE, 1, 2, 3 ETC.

- SHEET NOTES:**
- 1 REFER TO S1 FOR STRUCTURAL GENERAL NOTES AND TO FOUNDATION DETAIL SHEETS FOR CONSTRUCTION DETAILS. TYPICAL DETAILS ARE GENERALLY NOT CUT ON PLANS BUT RATHER ARE INTENDED TO DEFINE TYPICAL CONSTRUCTION CONDITIONS. WHERE TYPICAL DETAILS ARE CUT ON PLAN, THE INTENT IS TO ILLUSTRATE THE TYPE OF CONDITION AT WHICH THAT DETAIL IS INTENDED TO APPLY RATHER THAN EVERY OCCURRENCE OF THAT DETAIL.
  - 2 VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS. DO NOT SCALE DRAWINGS.
  - 3 PROVIDE MULTIPLE STUDS UNDER BEAMS OR TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER. TYP. STUDS SHALL BE CONTINUED IN LOWER FLOORS AND/OR CRAWL SPACE TO FOOTING, TYP.
  - 4 CENTER FOOTING UNDER WALLS AND POSTS UNLESS OTHERWISE NOTED ON PLANS AND/OR DETAILS.
  - 5 ADD (2) NEW 4X4X1/2" STL TUBES SPACED 5 FT APART AGAINST EXISTING BASEMENT WALL PER 4/S2.

**PSE CONSULTING ENGINEERS, INC.**  
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Fax: (541) 850-6233  
info@structure1.com

Medford Office  
836 Mason Way  
Medford OR 97501  
Phone: (541) 858-8500  
Fax: (541) 776-4663  
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Project:  
**CRUZ REMODEL**  
311 E FIRST ST  
CLE ELUM WA 98922

Owner / Client:  
**NICK CRUZ**

11-18-2021

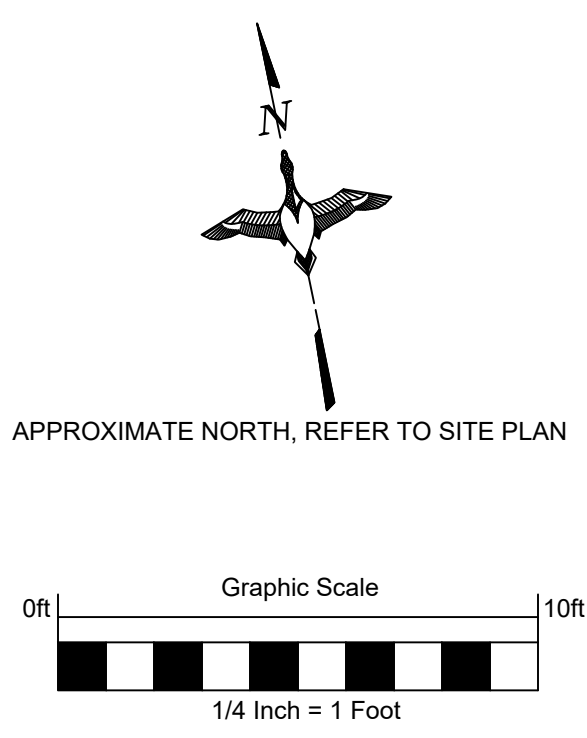
PROJECT #:  
**EVERGREEN DRAFTING 221-6**

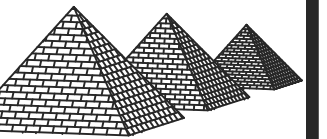
| MARK | REVISION | SCHEDULE | DATE |
|------|----------|----------|------|
|      |          |          |      |
|      |          |          |      |
|      |          |          |      |
|      |          |          |      |

DRAWN BY: J.M.  
DS. BY: J.M.  
CHK BY: N.T.  
DATE: 11-18-21

TITLE:  
**FOUNDATION PLAN**

PAGE NO:  
**S2**





**PSE CONSULTING ENGINEERS, INC.**

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Project:  
**CRUZ REMODEL**  
 311 E FIRST ST  
 CLE ELUM WA 98922

Owner / Client:  
**NICK CRUZ**

11-18-2021

PROJECT #:  
**EVERGREEN DRAFTING 221-6**

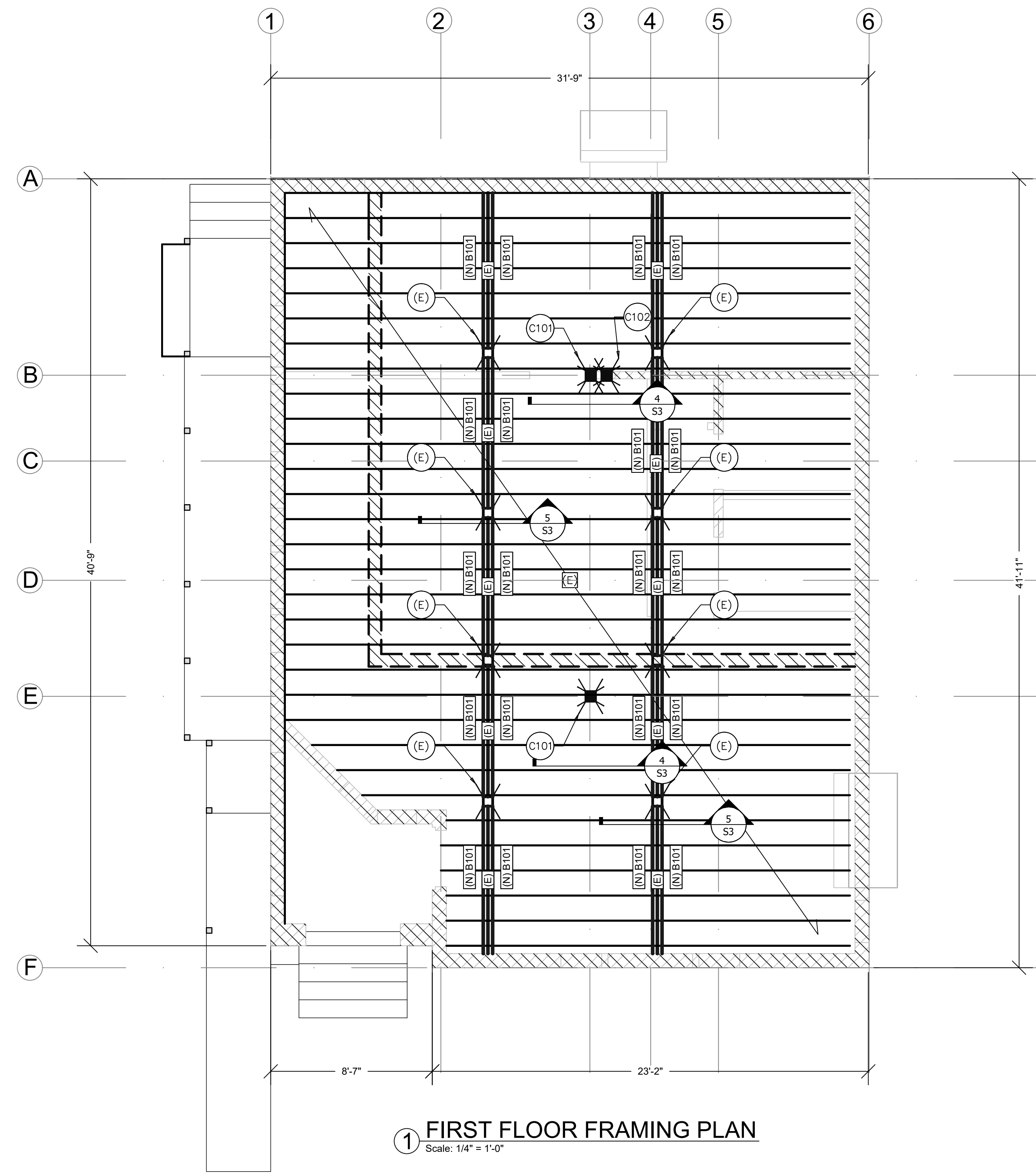
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|      |          |          |      |

DRAWN BY: J.M.  
 DS. BY: J.M.  
 CHK BY: N.T.  
 DATE: 11-18-21

TITLE:  
**FIRST FLOOR FRAMING PLAN**

PAGE NO:

**S3**



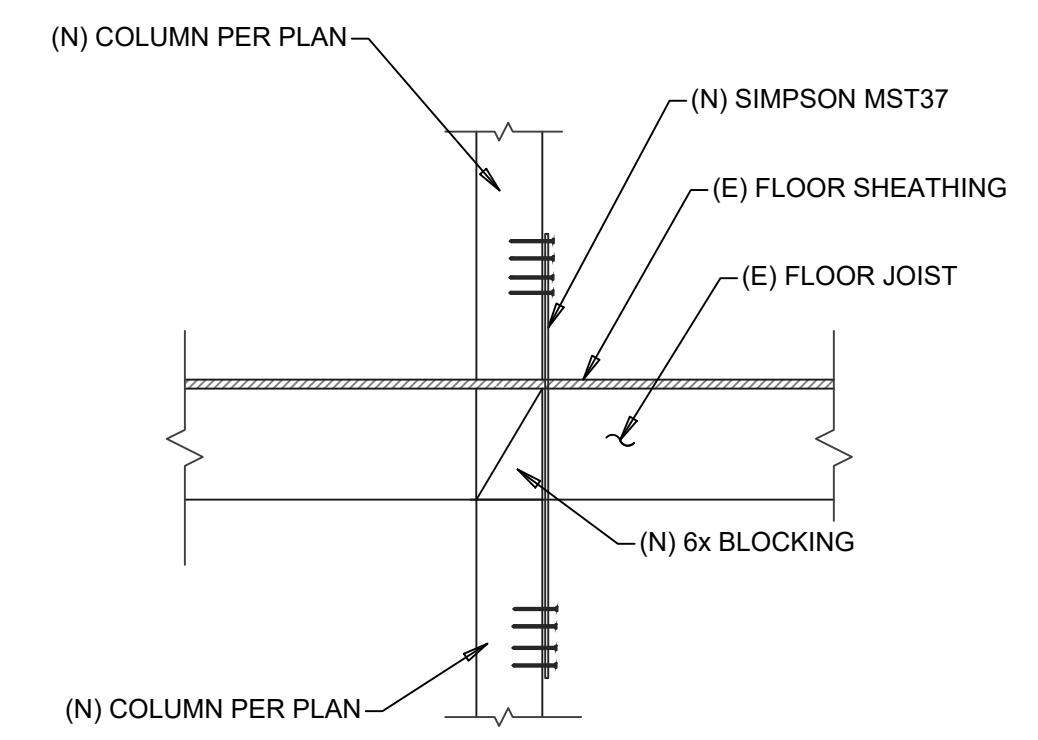
**1 FIRST FLOOR FRAMING PLAN**  
 Scale: 1/4" = 1'-0"

| MARK | SIZE | TYPE  | BASE CONNECTION | TOP CONNECTION | REMARKS |
|------|------|-------|-----------------|----------------|---------|
| C101 | 6x8  | DF #1 | 4/S2            | 4/S3           | -       |
| C102 | 6x6  | DF #2 | 4/S2            | 4/S3           | -       |

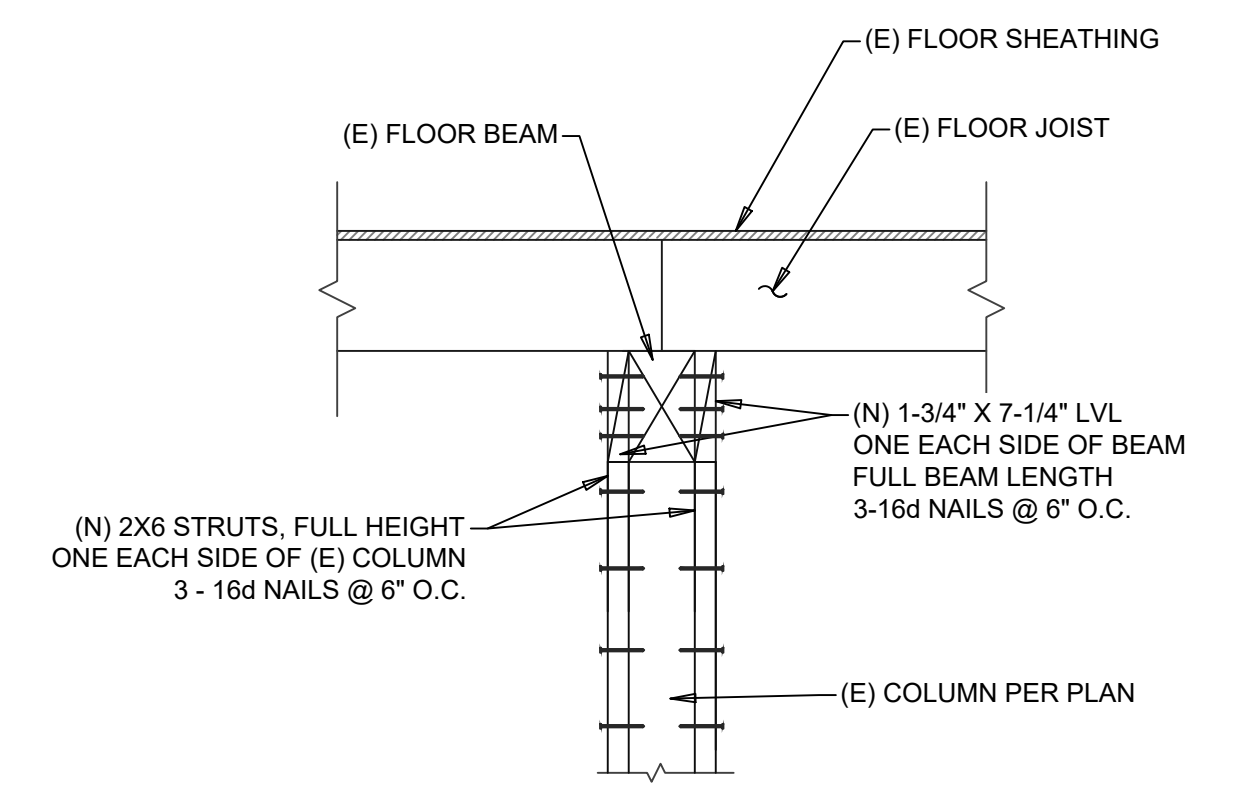
**2 COLUMN SCHEDULE**  
 N.T.S. COLUMN BELOW, SUPPORTING THIS FLOOR/ROOF LEVEL.

| MARK | WIDTH (INCHES) | DEPTH (INCHES) | COMBINATION | LEFT END CONNECTION DETAIL OR SHEET # * | RIGHT END CONNECTION DETAIL OR SHEET # * | CAMBER (INCH) | REMARKS |
|------|----------------|----------------|-------------|---|--|---------------|---------|
| B101 | 1 1/2          | 7 1/2          | 2500FB-2.0E | -                                       | -  | -             | 5/S4    |

**3 BEAM SCHEDULE**  
 N.T.S.



**4 (N) COLUMN TO COLUMN DETAIL**  
 SCALE: NTS

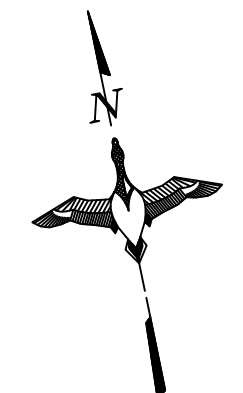


**5 (E) BEAM AND (E) COLUMN REINFORCEMENT**  
 SCALE: NTS

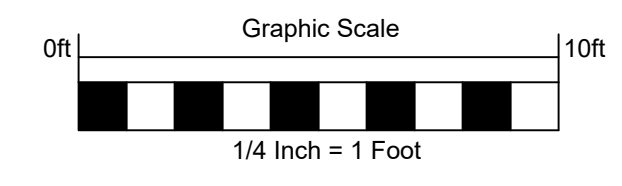
- LEGEND:**
- DISCONTINUOUS SHEAR WALL AND/OR LOAD BEARING WALL SUPPORTING/BELOW THIS FLOOR/ROOF.
  - SHEAR WALL AND/OR LOAD BEARING WALL ABOVE THIS FLOOR.
  - SHEAR WALL/BEARING WALL BELOW AND ABOVE THIS FLOOR.
  - NON-LOAD BEARING WALL BELOW THIS FLOOR.
  - NON-LOAD BEARING WALL ABOVE THIS FLOOR.
  - COLUMN SUPPORTING NEXT FLOOR/ROOF UP.
  - DISCONTINUOUS COLUMN SUPPORTING THIS FLOOR/ROOF.
  - COLUMN BELOW AND COLUMN ABOVE THIS FLOOR.
  - STUB, SHORT, POST.
  - INDICATES SHEET NOTES.
  - INDICATES COLUMN MARK, REFER TO COLUMN SCHEDULE.
  - INDICATES HOLD-DOWN MARK, REFER TO HOLD-DOWN SCHEDULE.
  - INDICATES SHEAR WALL/LOAD BEARING WALL MARK, REFER TO SHEAR WALL SCHEDULE 1/S2.
  - NUMERICAL VALUE, 1, 2, 3 ETC.

**SHEET NOTES:**

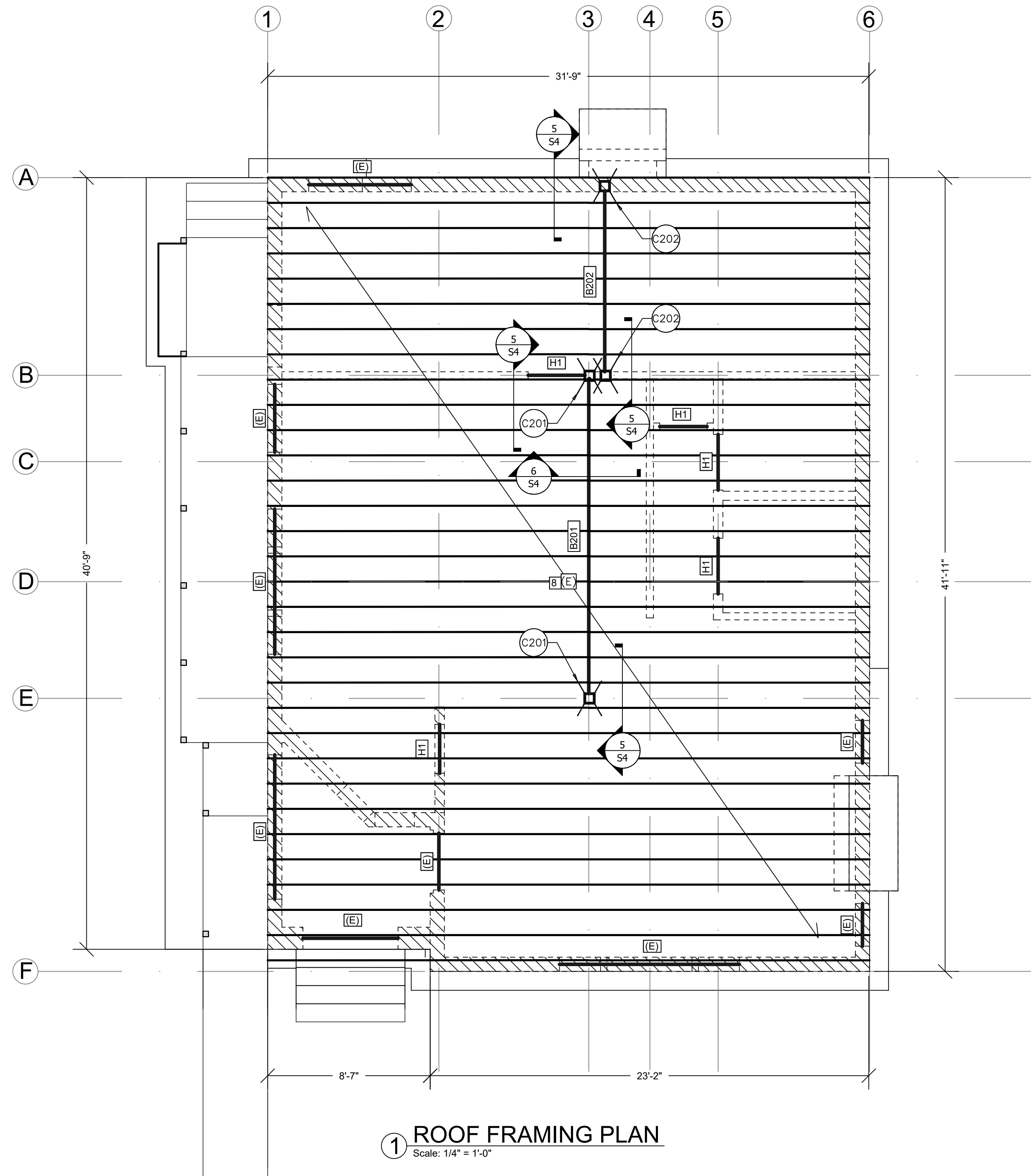
- REFER TO S1 FOR STRUCTURAL GENERAL NOTES AND TO FLOOR DETAIL SHEETS FOR CONSTRUCTION DETAILS. TYPICAL DETAILS ARE GENERALLY NOT CUT ON PLANS BUT RATHER ARE INTENDED TO DEFINE TYPICAL CONSTRUCTION CONDITIONS. WHERE TYPICAL DETAILS ARE CUT ON PLAN, THE INTENT IS TO ILLUSTRATE THE TYPE OF CONDITION AT WHICH THAT DETAIL IS INTENDED TO APPLY RATHER THAN EVERY OCCURRENCE OF THAT DETAIL.
- VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS. DO NOT SCALE DRAWINGS.
- PROVIDE MULTIPLE STUDS UNDER BEAMS OR TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER, TYP. STUDS SHALL BE CONTINUED IN LOWER FLOORS AND/OR CRAWL SPACE TO FOOTING, TYP.
- PROVIDE SOLID BLOCKING UNDER POSTS AND MULTIPLE STUDS TO TRANSFER LOADS TO POSTS/STUDS BELOW.
- ANY NEW FLOOR SHEATHING SHALL BE 3/4" OR MORE THICK APA T&G PLYWOOD OR OSB WITH 48"24" SPAN RATING.
- FIELD GLUE FLOORS TO ALL SUPPORTS AND T&G EDGES PER APA, AFG-01. FRAMING SHALL BE FREE OF SURFACE MOISTURE AND DEBRIS PRIOR TO GLUING.
- CENTER FOOTING UNDER POSTS AND WALLS UNLESS OTHERWISE NOTED ON PLANS AND/OR DETAILS.
- PROVIDE SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL SUPPORTS.
- JOISTS UNDER AND PARALLEL TO NON-LOAD-BEARING PARTITIONS SHALL BE DOUBLED AND NAILED TOGETHER OR BLOCKED AT 2'-0" ON CENTERS.
- JOIST AND RAFTER FRAMING FROM OPPOSITE SIDES OVER BEARING SUPPORTS SHALL BE TIED BY LAPPING WOOD OR METAL SPLICE.
- IF HEAVY FURNITURE, SUCH AS GRAND PIANOS, OR OTHER HEAVY ABOVE NORMAL TYPICAL APPLIANCES, CONTACT EOR FOR REVIEW PRIOR TO INSTALLATION.
- LIMIT LIVE LOAD DEFLECTION TO SPAN OVER 480 FOR JOISTS, RAFTERS, BEAMS, FLOOR TRUSSES AND ALL STRUCTURAL MEMBERS.
- NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD SHALL BE USED FOR WOOD MEMBERS THAT ARE EXPOSED TO WEATHER WITHOUT PROTECTION FROM ROOF SUCH AS BALCONIES, DECKS OR PORCHES ETC.



APPROXIMATE NORTH, REFER TO SITE PLAN



Structural details for this project are for illustration only. They are not drawn to scale unless noted otherwise. Contractor must verify all dimensions before fabrication or construction. Do not scale drawings.



| MARK | WIDTH (INCHES) | DEPTH (INCHES) | COMBINATION | LEFT END CONNECTION DETAIL OR SHEET # | RIGHT END CONNECTION DETAIL OR SHEET # | CAMBER (INCH) | REMARKS |
|------|----------------|----------------|-------------|---------------------------------------|--|---------------|---------|
| B201 | 5 1/2          | 18             | 24F-1.8E WS | ECCQ66                                | ECCQ66                                 | -             | -       |
| B202 | 5 1/2          | 12             | 24F-1.8E WS | EPC6Z                                 | EPC6Z                                  | -             | -       |

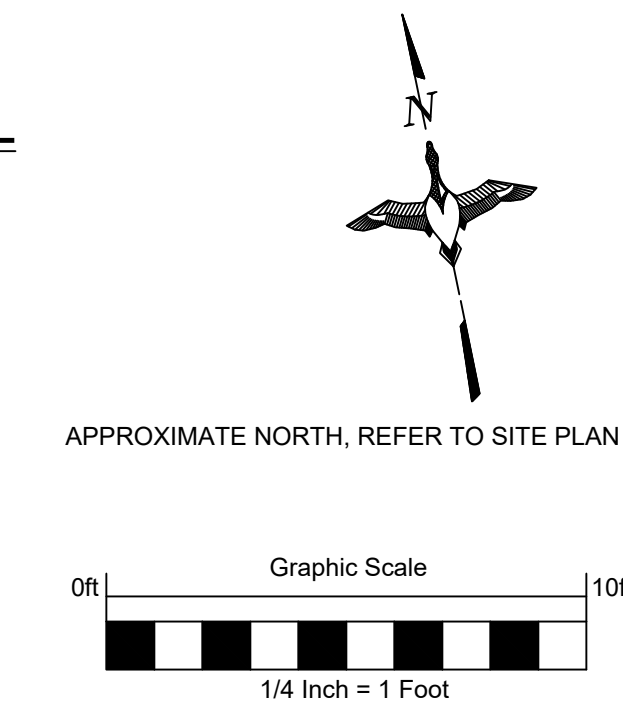
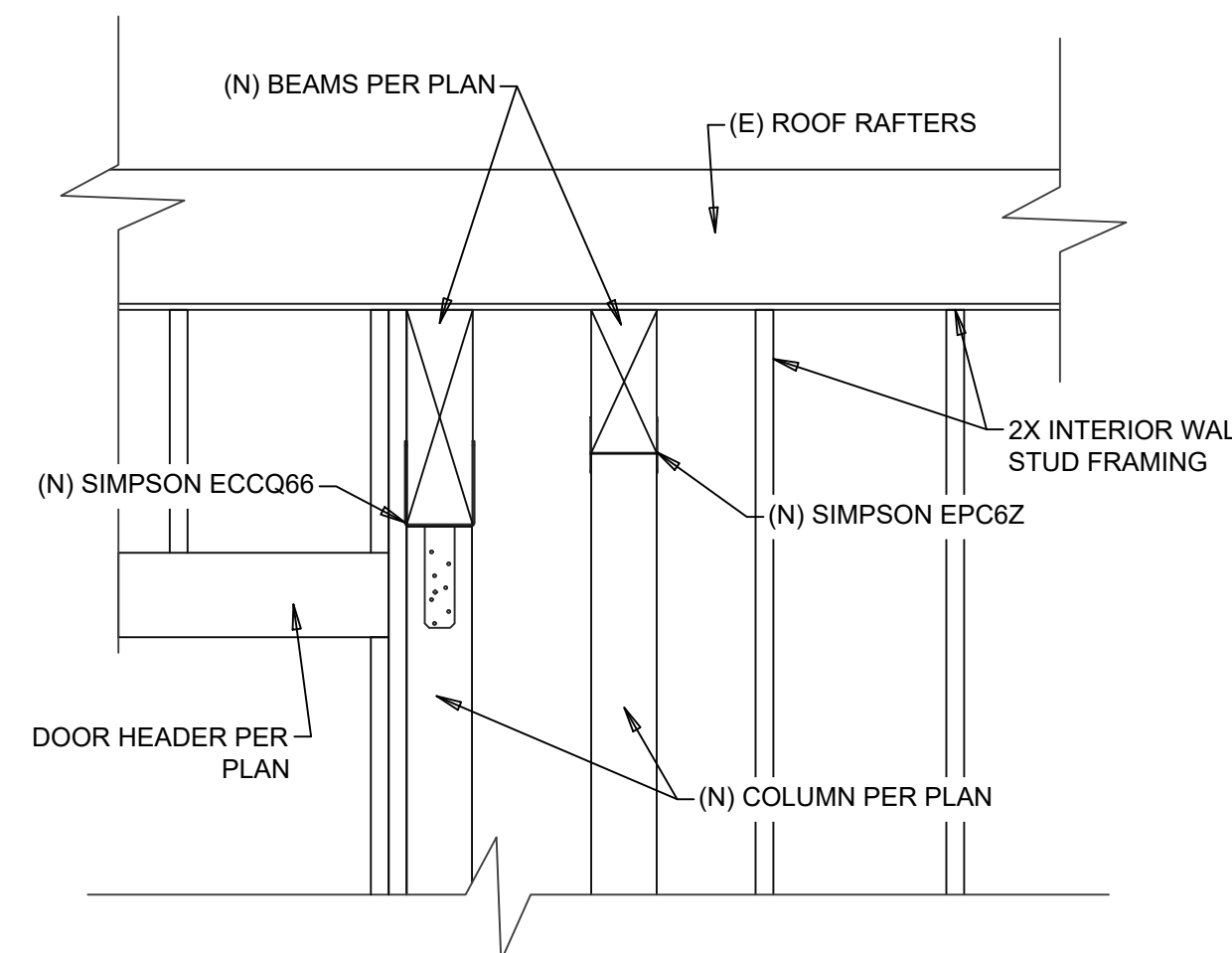
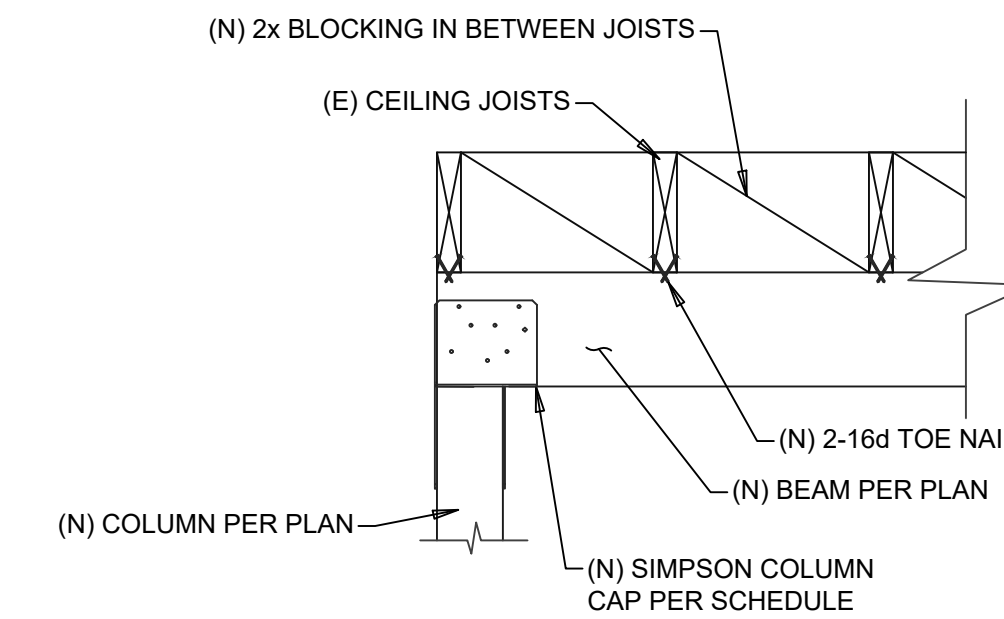
2 BEAM SCHEDULE  
N.T.S.

| MARK | SIZE | TYPE  | BASE CONNECTION | TOP CONNECTION | REMARKS |
|------|------|-------|-----------------|----------------|---------|
| C201 | 6x6  | DF #1 | 4/S3            | ECCQ66         | -       |
| C202 | 6x6  | DF #2 | 4/S3            | EPC6Z          | -       |

3 COLUMN SCHEDULE  
N.T.S.  
COLUMN BELOW, SUPPORTING THIS FLOOR/ROOF LEVEL.

| MARK | COMBINATION | HEADER SIZE  | BEARING STUDS OR POST PER PLAN | FULL HEIGHT / KING STUDS |
|------|-------------|--------------|--------------------------------|--------------------------|
| H1   | DF #2       | 4x8 OR 2-2x8 | ONE                            | ONE                      |

4 HEADER SCHEDULE  
N.T.S.



LEGEND:

- DISCONTINUOUS SHEAR WALL AND/OR LOAD BEARING WALL SUPPORTING/BELOW THIS FLOOR/ROOF.
- NON-LOAD BEARING WALL BELOW THIS FLOOR.
- DISCONTINUOUS COLUMN SUPPORTING THIS FLOOR/ROOF.
- STUB, SHORT, POST.
- INDICATES SHEET NOTES.
- INDICATES COLUMN MARK, REFER TO COLUMN SCHEDULE.
- NUMERICAL VALUE, 1, 2, 3 ETC.

SHEET NOTES:

- 1 REFER TO S1 FOR STRUCTURAL GENERAL NOTES AND TO ROOF DETAIL SHEETS FOR CONSTRUCTION DETAILS. TYPICAL DETAILS ARE GENERALLY NOT CUT ON PLANS BUT RATHER ARE INTENDED TO DEFINE TYPICAL CONSTRUCTION CONDITIONS. WHERE TYPICAL DETAILS ARE CUT ON PLAN, THE INTENT IS TO ILLUSTRATE THE TYPE OF CONDITION AT WHICH THAT DETAIL IS INTENDED TO APPLY RATHER THAN EVERY OCCURRENCE OF THAT DETAIL.
- 2 VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS. DO NOT SCALE DRAWINGS.
- 3 PROVIDE MULTIPLE STUDS UNDER BEAMS OR TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER. TYP. STUDS SHALL BE CONTINUED IN LOWER FLOORS AND/OR CRAWL SPACE TO FOOTING. TYP.
- 4 ROOF DRAINAGE SHALL BE DIRECTED AWAY FROM FOUNDATION.
- 5 PROVIDE SOLID BLOCKING UNDER POSTS AND MULTIPLE STUDS TO TRANSFER LOADS TO POSTS/STUDS BELOW.
- 6 LAY FLOOR AND ROOF STRUCTURAL PANELS WITH THE LONG DIMENSION AT RIGHT ANGLE TO SUPPORTS AND CONTINUOUS OVER TWO OR MORE SPANS.
- 7 NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD SHALL BE USED FOR WOOD MEMBERS THAT ARE EXPOSED TO WEATHER WITHOUT PROTECTION FROM ROOF SUCH AS BALCONIES, DECKS OR PORCHES ETC.
- 8 EXISTING 2X12 RAFTERS @ 16" O.C.



PSE CONSULTING ENGINEERS, INC.

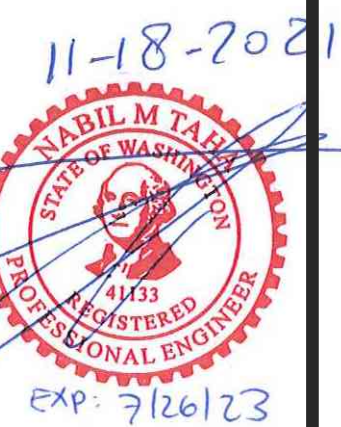
www.structure1.com  
Klamath Falls Office  
250 Main  
Klamath Falls, Oregon  
97601  
Phone: (541) 850-6300  
Fax: (541) 850-6233  
info@structure1.com

Medford Office  
836 Mason Way  
Medford OR 97501  
Phone: (541) 858-8500  
Fax: (541) 776-4663  
infomd@structure1.com

Project:  
CRUZ REMODEL

311 E FIRST ST  
CLE ELUM WA 98922

Owner / Client:  
NICK CRUZ



PROJECT #:  
EVERGREEN DRAFTING 221-6

| MARK | REVISION | SCHEDULE | DATE |
|------|----------|----------|------|
|      |          |          |      |
|      |          |          |      |
|      |          |          |      |

DRAWN BY: J.M.  
DS. BY: J.M.  
CHK BY: N.T.  
DATE: 11-18-21

TITLE:  
ROOF FRAMING PLAN

PAGE NO:

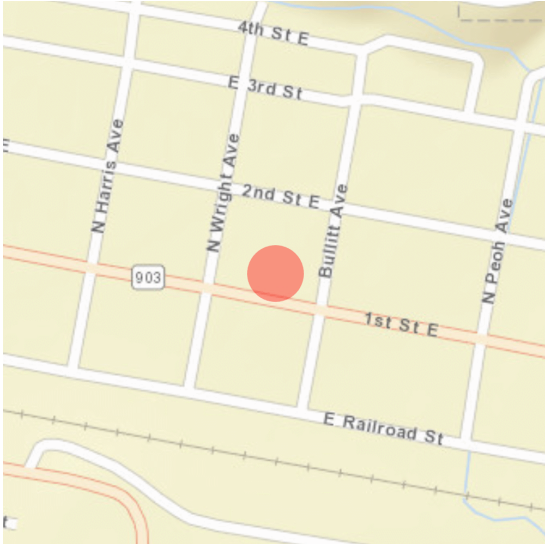
S4

# Historic Property Report

Resource Name: Cle Elum Dental Clinic

Property ID: 716419

## Location



**Address:** 311 E 1st St, Cle Elum, WA, 98922, USA

**Geographic Areas:** Cle Elum Certified Local Government, Kittitas County, T20R15E26, CLE ELUM Quadrangle

## Information

**Number of stories:** N/A

### Construction Dates:

| Construction Type | Year | Circa                               |
|-------------------|------|-------------------------------------|
| Built Date        | 1940 | <input checked="" type="checkbox"/> |
| Remodel           | 1970 | <input checked="" type="checkbox"/> |

### Historic Use:

| Category | Subcategory                    |
|----------|--------------------------------|
| Domestic | Domestic - Single Family House |
| Domestic | Domestic - Single Family House |

### Historic Context:

**Category**

### Architect/Engineer:

| Category | Name or Company |
|----------|-----------------|
|----------|-----------------|





# Historic Property Report

Resource Name: Cle Elum Dental Clinic

Property ID: 716419

## Thematics:

### Local Registers and Districts

| Name                                       | Date Listed | Notes           |
|--|-------------|-----------------|
| Cle Elum Local Register of Historic Places | 3/18/2010   | Nomination date |

### Project History

| Project Number, Organization, Project Name                           | Resource Inventory | SHPO Determination      | SHPO Determined By, Determined Date |
|--|--------------------|-------------------------|-------------------------------------|
| 2018-06-04731, , Cle Elum Inventory Updates 2018                     | 8/14/2018          |                         |                                     |
| 2018-11-08714, WSDOT, First Street Downtown Revitalization, Cle Elum | 3/30/2019          | Determined Not Eligible | Holly Borth, 4/25/2019              |

# Historic Property Report

Resource Name: Cle Elum Dental Clinic

Property ID: 716419

## Photos



311 E 1st St



IMG\_0823.JPG



# Historic Property Report

Resource Name: Cle Elum Dental Clinic

Property ID: 716419

## Inventory Details - 8/14/2018

**Common name:** Cle Elum Dental Clinic  
**Date recorded:** 8/14/2018  
**Field Recorder:** Roberta Newland  
**Field Site number:** 30

### SHPO Determination

### Characteristics:

| Category  | Item              |
|-----------|-------------------|
| Form Type | Single Dwelling   |
| Roof Type | Flat with Parapet |
| Cladding  | Stucco            |

### Styles:

| Period                                  | Style Details             |
|---|---------------------------|
| Early 20th Century Revivals (1900-1940) | Spanish - Mission Revival |



# Historic Property Report

Resource Name: Cle Elum Dental Clinic

Property ID: 716419

## Inventory Details - 3/30/2019

**Common name:**

**Date recorded:** 3/30/2019

**Field Recorder:** Christopher Landreau

**Field Site number:**

**SHPO Determination**

## Detail Information

### Characteristics:

| Category          | Item                         |
|-------------------|------------------------------|
| Foundation        | Concrete - Poured            |
| Form Type         | Commercial - One-Part Block  |
| Roof Type         | Flat with Parapet            |
| Roof Material     | Asphalt/Composition - Rolled |
| Cladding          | Stucco                       |
| Structural System | Masonry - Concrete Block     |
| Plan              | Square                       |

### Styles:

| Period  | Style Details |
|---|---------------|
| Early 20th Century American Movements (1900-1940) | Commercial    |

## Surveyor Opinion

**Property appears to meet criteria for the National Register of Historic Places:** No

**Property is located in a potential historic district (National and/or local):** No

**Property potentially contributes to a historic district (National and/or local):** No

**Significance narrative:** This building does not meet any threshold of historicity related to either events and patterns, or association with an individual, and does not meet threshold for criterion A or B. Criterion C is possible, however integrity is severely compromised. Given the modern renovations, this building does not retain historic integrity and is non-eligible for National Register inclusion.

An analysis of Criterion A and C consideration for inclusion as a district was undertaken for all buildings in the first street corridor between Billings and Peoh Avenues. We consider the downtown district to be ineligible as only 19% of the buildings can be considered eligible on their own merit. Given mixed styles, and wholesale changes to streets, sidewalks and buildings, there is no definable historic periodicity to the overall area.



## Historic Property Report

Resource Name: Cle Elum Dental Clinic

Property ID: 716419

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**Physical description:**

This building was recorded on 8/14/18. County records indicate the building was constructed in 1940. It has been altered from original form. The exterior front is a faux-adobe Spanish style stucco with new (1997- county appraiser) windows, doors bulkhead and tiled appurtenances.