



SCALE:
AS NOTED

PROJECT MANAGER:
BRETT K PUDISTS, PE

PROJECT ENGINEER:
DENE KUZARO, PE

DESIGNER:
AARON LANCE

ISSUE DATE:
1/2/2023

HEFFRON TRANSPORTATION INC.
6544 NE 61ST STREET
SEATTLE, WA 98115
(206) 523-3939
CONTACT: MARNI HEFFRON

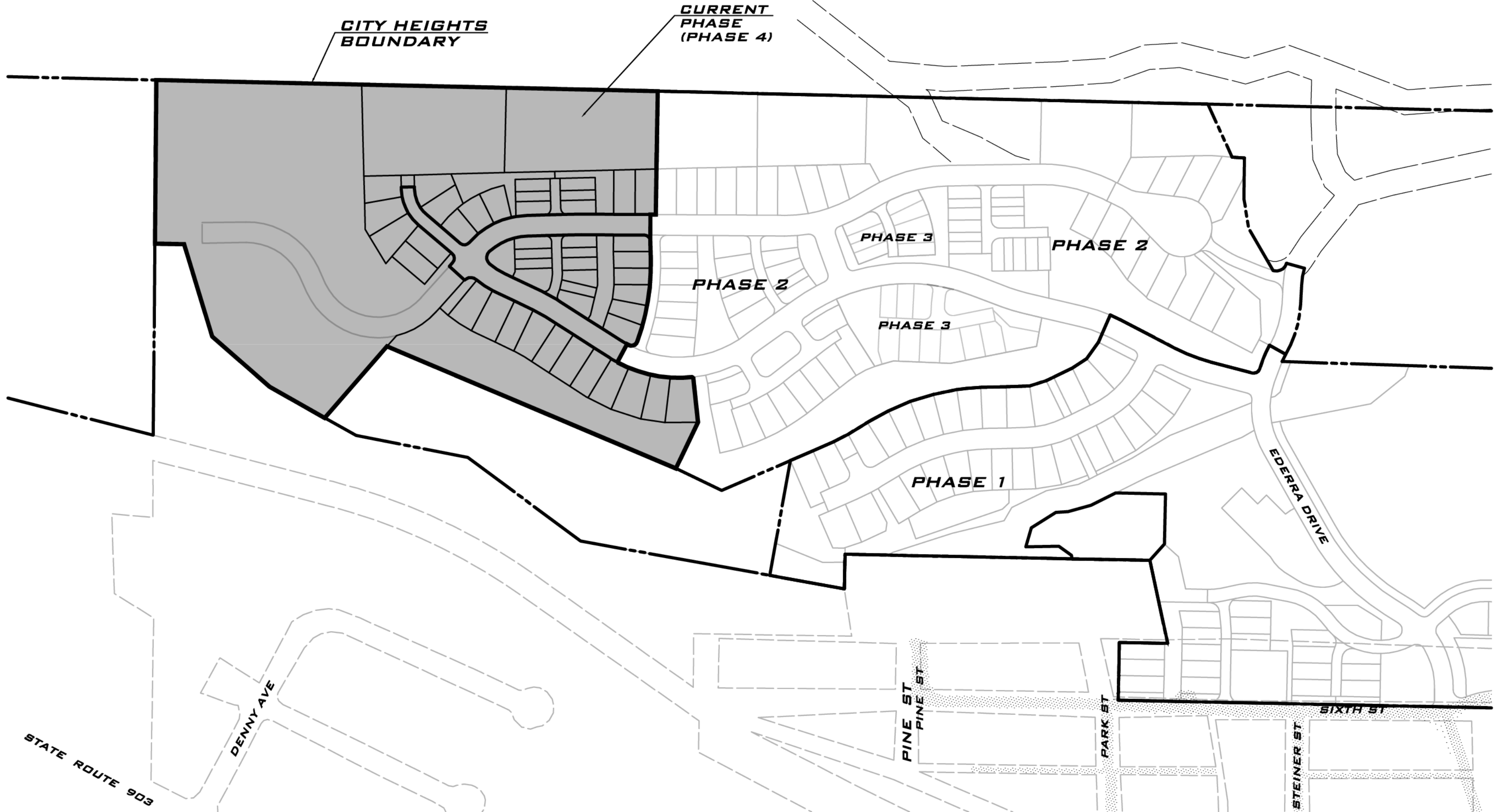
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CITY HEIGHTS
PHASE 4 PRELIMINARY
CLEARING, GRADING & INFRASTRUCTURE PLANS



3/2/23
JOB NUMBER:
19-349
SHEET NAME:
CV-01

PAGE 1 OF 15



SCALE: 1" = 200

NOTES

- MITIGATION MEASURES PER DEIS SECTION 3.1.
- DELINEATION OF CMHA AREAS PER 2009 SUB TERRA, INC. AML REPORT. NOTICE DEVELOPMENT AREAS LISTED IN THESE HISTORICAL DOCUMENTS TIES TO DESI ALTERNATE 1 WHICH USES DEVELOPMENT AREA NAMING THAT DOES NOT EXACTLY MATCH DEVELOPMENT PODS SHOWN ON THE MASTER SITE PLAN INCORPORATED INTO THE DA.

1	CV-01	COVER SHEET
2	DP-01	DEVELOPMENTAL PODS
3	EC-01	EXISTING CONDITIONS
4	TP-01	TESC PLAN
5	TD-01	TESC DETAILS
6	GP-01	GRADING PLAN
7	SI-01	SITE PLAN
8	RS-01	ROAD & STORM PLAN
9	RD-01	ROAD DETAILS
10	RP-01	ROAD & STORM PROFILES
11	SW-01	SEWER AND WATER PLANS
12	TS-01	TRAIL PLANS
13	OS-01	OPEN SPACE PLAN
14	TR-01	TREE PRESERVATION & CLEARING PLAN
15	LS-01	LANDSCAPE PLAN

WATER ERU'S		
ZONE	ERU'S	NOTES
3	45	P4 SF
3	1	P4 IRRIGATION

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATE PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE EXISTING UTILITY LOCATION. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF THE SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

24x36
Mar 02, 2023 - 1:49pm - User dgabaldon
E:\Projects\19349\Dwg\Final\WestPh4\Civil\19349W4-CV.dwg



25 CENTRAL WAY, SUITE 400,
KIRKLAND, WA 98033
P: 425.216.4051 F: 425.216.4052
WWW.THEBLUELINEGROUP.COM

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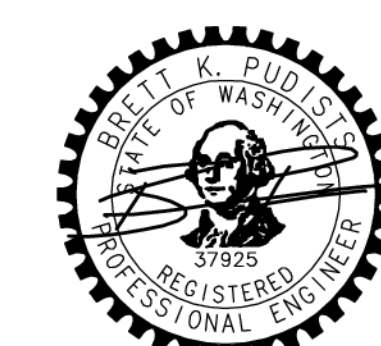
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DEVELOPMENTAL PODS

CITY HEIGHTS

PHASE 4 PRELIMINARY

CLEARING, GRADING & INFRASTRUCTURE PLANS

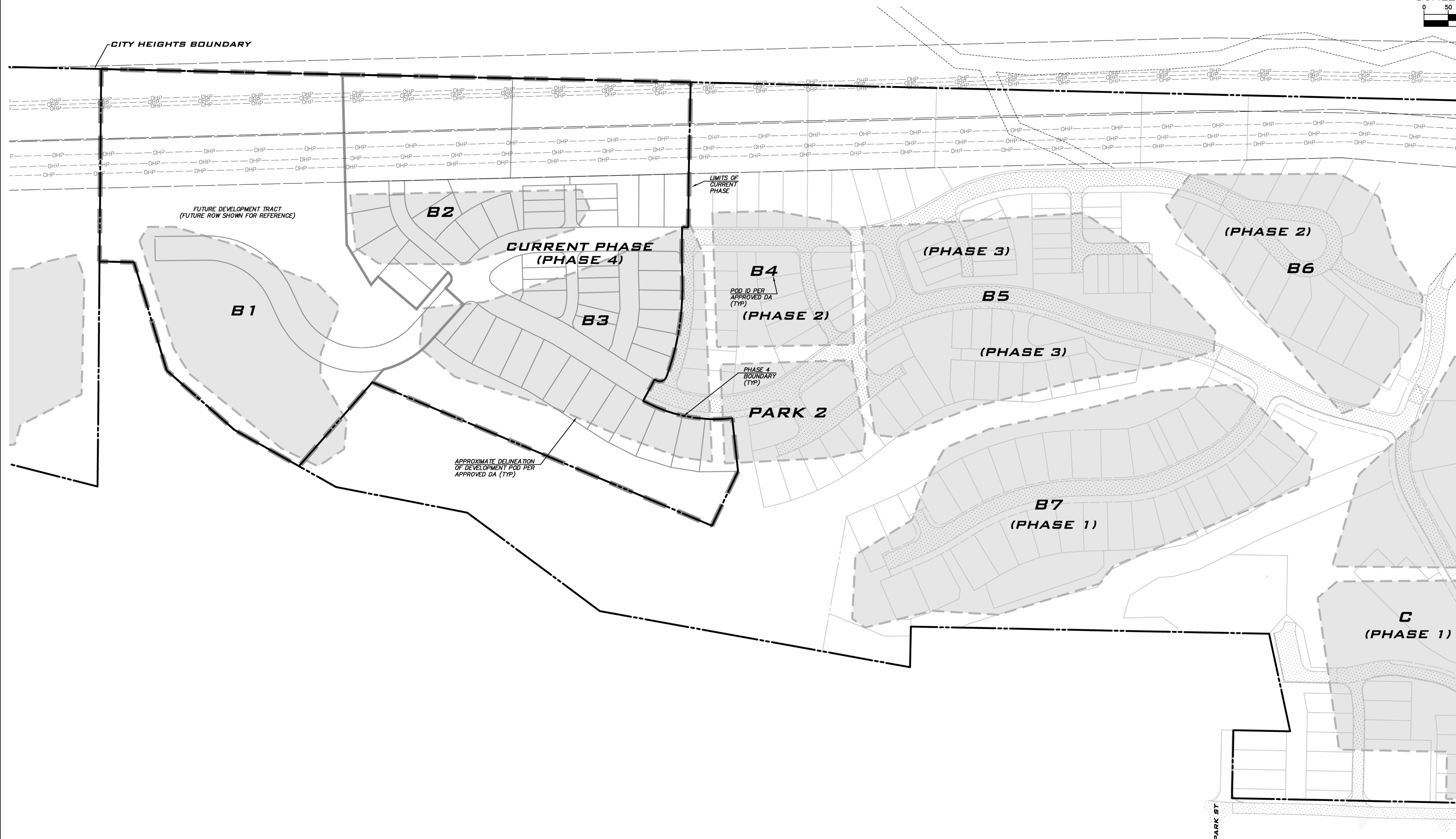


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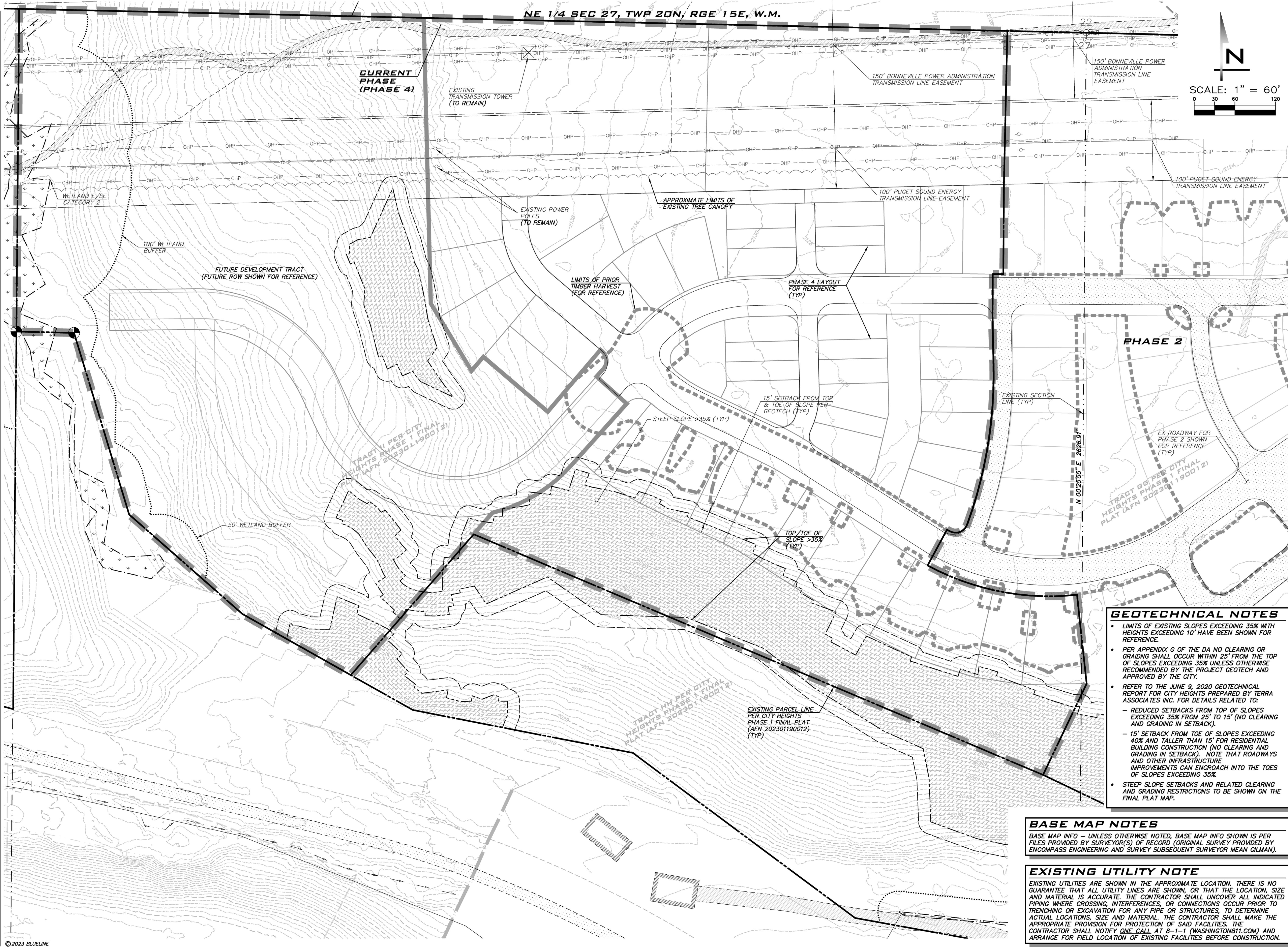
SHT **2** OF **15**

**PARK 2 NOTE**

A NEW PARK (AKA WASH HOUSE OPEN SPACE TRACT) WAS PROVIDED IN PHASE IN LIEU OF PARK 2. REFER TO CONDITION 29.F OF THE CITY HEIGHTS PHASE 1 PRELIMINARY PLAT APPLICATION SEPA COMPLIANCE DETERMINATION AND CONSISTENCY REVIEW DECISION (AKA PHASE 1 SETTLEMENT AGREEMENT) DATED JULY 2021 FOR INFO.

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BLUELINE

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3/2/2023

REVISIONS			
NO	DATE	BY	

EXISTING CONDITIONS

CITY HEIGHTS

PHASE 4 PRELIMINARY

CLEARING, GRADING & INFRASTRUCTURE PLANS

CITY OF GLE ELUM

WASHINGTON

GEOTECHNICAL NOTES

- LIMITS OF EXISTING SLOPES EXCEEDING 35% WITH HEIGHTS EXCEEDING 10' HAVE BEEN SHOWN FOR REFERENCE.
- PER APPENDIX G OF THE DA NO CLEARING OR GRADING SHALL OCCUR WITHIN 25' FROM THE TOP OF SLOPES EXCEEDING 35% UNLESS OTHERWISE RECOMMENDED BY THE PROJECT GEOTECH AND APPROVED BY THE CITY.
- REFER TO THE JUNE 9, 2020 GEOTECHNICAL REPORT FOR CITY HEIGHTS PREPARED BY TERRA ASSOCIATES INC. FOR DETAILS RELATED TO:
 - REDUCED SETBACKS FROM TOP OF SLOPES EXCEEDING 35% FROM 25' TO 15' (NO CLEARING AND GRADING IN SETBACK).
 - 15' SETBACK FROM TOE OF SLOPES EXCEEDING 40% AND TALLER THAN 15' FOR RESIDENTIAL BUILDING CONSTRUCTION (NO CLEARING AND GRADING IN SETBACK). NOTE THAT ROADWAYS AND OTHER INFRASTRUCTURE IMPROVEMENTS CAN ENCROACH INTO THE TOES OF SLOPES EXCEEDING 35%.
- STEEP SLOPE SETBACKS AND RELATED CLEARING AND GRADING RESTRICTIONS TO BE SHOWN ON THE FINAL PLAT MAP.

BASE MAP NOTES

BASE MAP INFO – UNLESS OTHERWISE NOTED, BASE MAP INFO SHOWN IS PER FILES PROVIDED BY SURVEYOR(S) OF RECORD (ORIGINAL SURVEY PROVIDED BY ENCOMPASS ENGINEERING AND SURVEY SUBSEQUENT SURVEYOR MEAN GILMAN).

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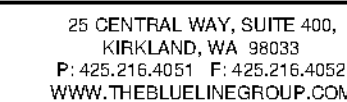


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JOB NUMBER:
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SHT **3** OF **15**



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[illegible]

TESC PLAN

CITY HEIGHTS

PHASE 4 PRELIMINARY

CLEARING, GRADING & INFRASTRUCTURE PLANS



3/2/23
JOB NUMBER:
19-349
SHEET NAME:
TP-01

SHT 4 OF 15



TESC FEATURES

-
- LEGEND**
- | | | | |
|--|---|--|-----------------------|
| | FILTER FENCE | | RIPRAP PAD |
| | CONSTRUCTION FENCE | | ROCK CHECK DAM |
| | TREE PROTECTION FENCE | | STRAW BALE |
| | BERM LINE | | OVERFLOW STRUCTURE |
| | OPTIONAL TREE RETENTION AREA | | TEMPORARY CB, TYPE I |
| | INTERCEPTOR SWALE | | TEMPORARY CB, TYPE II |
| | INTERCEPTOR CULVERT | | PIPE FLOW |
| | TEMPORARY STORM PIPE | | TEMPORARY STAND PIPE |
| | CLEARED AREA | | TRIANGULAR SILT DIKE |
| | LIMITS OF CLEARING | | |
| | INTERIM CATCH BASIN PROTECTION (GRAVEL) | | |
| | INTERIM CATCH BASIN PROTECTION (INSERT) | | |

SEE SHEET TD-01 FOR ADDITIONAL TESC NOTES AND DETAILS.

- AREA INSIDE CLEARING LIMITS SHOWN = 6.62 ACRES
- AREAS WITHIN LIMITS OF DISTURBANCE ARE SUBJECT TO TREE REMOVAL AND CLEARING.
- INSTALL SILT FENCE ON DOWN GRADIENT LIMITS OF DISTURBANCE OR PROVIDE 50' MINIMUM VEGETATED BUFFER DOWNSTREAM OF LOD. DELINEATE UP GRADIENT LIMITS OF DISTURBANCE WITH SURVEY FLAGGING AND LATHE OR GRADE CONSTRUCTION FENCING.
- DUST CONTROL MEASURES AS DESCRIBED IN BMP C140 (SWMMEW) SHALL BE UTILIZED TO CONTROL DUST. THESE MEASURES MAY INCLUDE, BUT ARE NOT LIMITED TO: CLEARING ONLY AREAS WHERE CUTTING WILL TAKE PLACE, WETTING CLEARED AREAS, VEGETATING/MULCHING, AREAS THAT WILL NOT RECEIVE VEHICLE TRAFFIC, ETC.. CONTRACTOR WILL HAVE A WATER TRUCK ONSITE AT ALL TIMES.

REFER TO SHEET EC-01 FOR GEOTECHNICAL NOTES.

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TESC NOTES

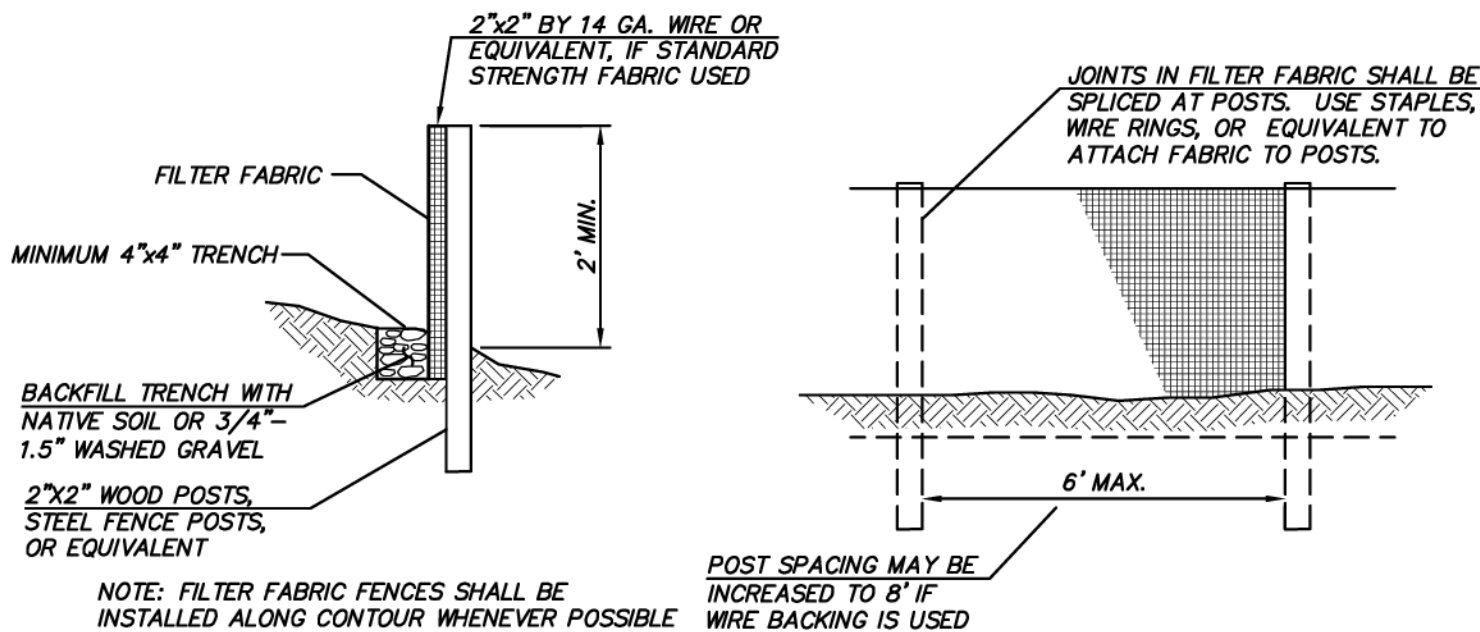
- APPROVAL OF THIS ESC PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC BMPS IS THE RESPONSIBILITY OF THE APPLICANT UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- CLEARLY FLAG THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT FOR THE DURATION OF CONSTRUCTION.
- CONSTRUCT THE ESC BMPS SHOWN ON THIS PLAN IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC BMPS SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, UPGRADE THESE ESC BMPS AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE OR ENTER CRITICAL AREAS.
- THE APPLICANT SHALL INSPECT THE ESC BMPS DAILY AND MAINTAIN THEM AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONALITY.
- INSPECT AND MAINTAIN THE ESC BMPS ON INACTIVE SITES A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT (24-HOUR STORM EVENT WITH A 10-YEAR OR GREATER RECURRENCE INTERVAL).
- CONTRACTOR TO STOCKPILE 200 LF OF EXTRA EROSION CONTROL FENCING ONSITE TO BE USED, AS NEEDED, IF ADVERSE WEATHER CONDITIONS WARRANT ADDITIONAL TESC MEASURES.
- AT NO TIME SHALL THE SEDIMENT EXCEED 60 PERCENT OF THE SUMP DEPTH OR HAVE LESS THAN 8 INCHES OF CLEARANCE FROM THE SEDIMENT SURFACE TO THE INVERT OF THE LOWEST PIPE. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- INSTALL STABILIZED CONSTRUCTION ENTRANCES AT THE BEGINNING OF CONSTRUCTION AND MAINTAIN FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

CONSTRUCTION SEQUENCE

- HOLD THE PRE-CONSTRUCTION MEETING.
- FLAG OR FENCE CLEARING LIMITS.
- INSTALL CATCH BASIN PROTECTION, IF REQUIRED. INSTALL FLOW CONTROL BMP AREA PROTECTION, IF REQUIRED.
- GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- CONSTRUCT TEMPORARY SEDIMENT PONDS AND TRAPS.
- GRADE AND STABILIZE CONSTRUCTION ROADS.
- CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
- MAINTAIN EROSION CONTROL AND SWPPS MEASURES IN ACCORDANCE WITH DOE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- RELOCATE EROSION CONTROL AND SWPPS MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL AND POLLUTANT PROTECTION IS ALWAYS IN ACCORDANCE WITH THE DOE CONSTRUCTION STORMWATER POLLUTION PREVENTION STANDARDS.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
- STABILIZE ALL AREAS WITHIN SEVEN DAYS OF REACHING FINAL GRADE.
- SEED, SOD, STABILIZE, OR COVER ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- UPON COMPLETION OF THE PROJECT, STABILIZE ALL DISTURBED AREAS AND REMOVE BMPS IF APPROPRIATE.

WET SEASON SPECIAL PROVISIONS

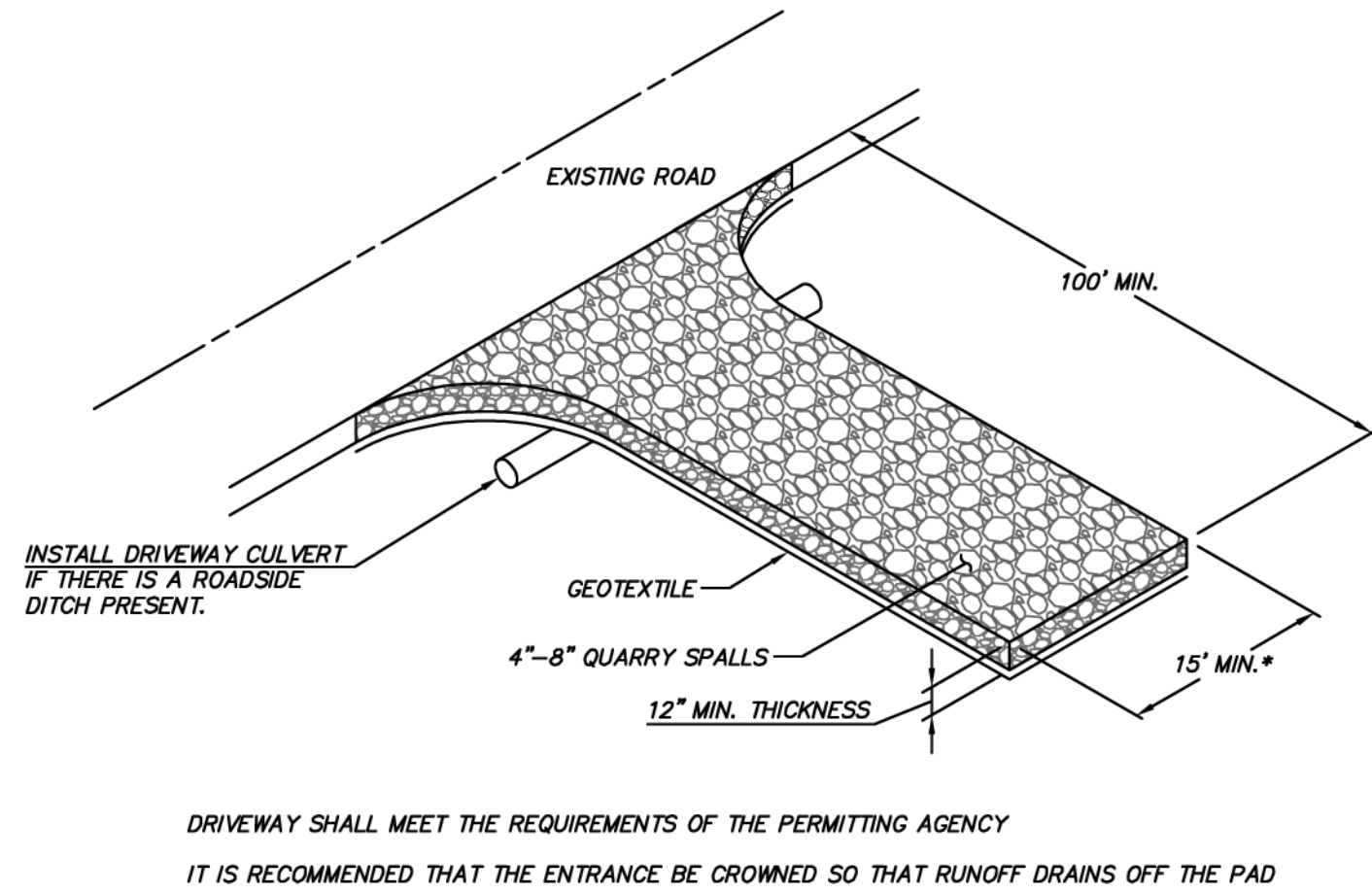
- THE ALLOWED TIME THAT A DISTURBED AREA MAY REMAIN UNWORKED WITHOUT COVER MEASURES IS REDUCED TO TWO CONSECUTIVE WORKING DAYS, RATHER THAN SEVEN.
- STOCKPILES AND STEEP CUT AND FILL SLOPES ARE TO BE PROTECTED IF UNWORKED FOR MORE THAN 12 HOURS.
- COVER MATERIALS SUFFICIENT TO COVER ALL DISTURBED AREAS SHALL BE STOCKPILED ON SITE.
- ALL AREAS THAT ARE TO BE UNWORKED DURING THE WET SEASON SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.
- MULCH IS REQUIRED TO PROTECT ALL SEEDED AREAS.
- FIFTY LINEAR FEET OF SILT FENCE (AND THE NECESSARY STAKES) PER ACRE OF DISTURBANCE MUST BE STOCKPILED ON SITE.
- CONSTRUCTION ROAD AND PARKING LOT STABILIZATION ARE REQUIRED FOR ALL SITES UNLESS THE SITE IS UNDERLAIN BY COARSE-GRAINED SOIL.
- SEDIMENT RETENTION IS REQUIRED UNLESS NO OFFSITE DISCHARGE IS ANTICIPATED FOR THE SPECIFIED DESIGN FLOW.
- SURFACE WATER CONTROLS ARE REQUIRED UNLESS NO OFFSITE DISCHARGE IS ANTICIPATED FOR THE SPECIFIED DESIGN FLOW.
- PHASING AND MORE CONSERVATIVE BMPS MUST BE EVALUATED FOR CONSTRUCTION ACTIVITY NEAR SURFACE WATERS.
- ANY RUNOFF GENERATED BY DEWATERING MAY BE REQUIRED TO DISCHARGE TO THE SANITARY SEWER (WITH APPROPRIATE DISCHARGE AUTHORIZATION), PORTABLE SAND FILTER SYSTEMS, OR HOLDING TANKS.
- AS AND REMOVE BMPS IF APPROPRIATE.



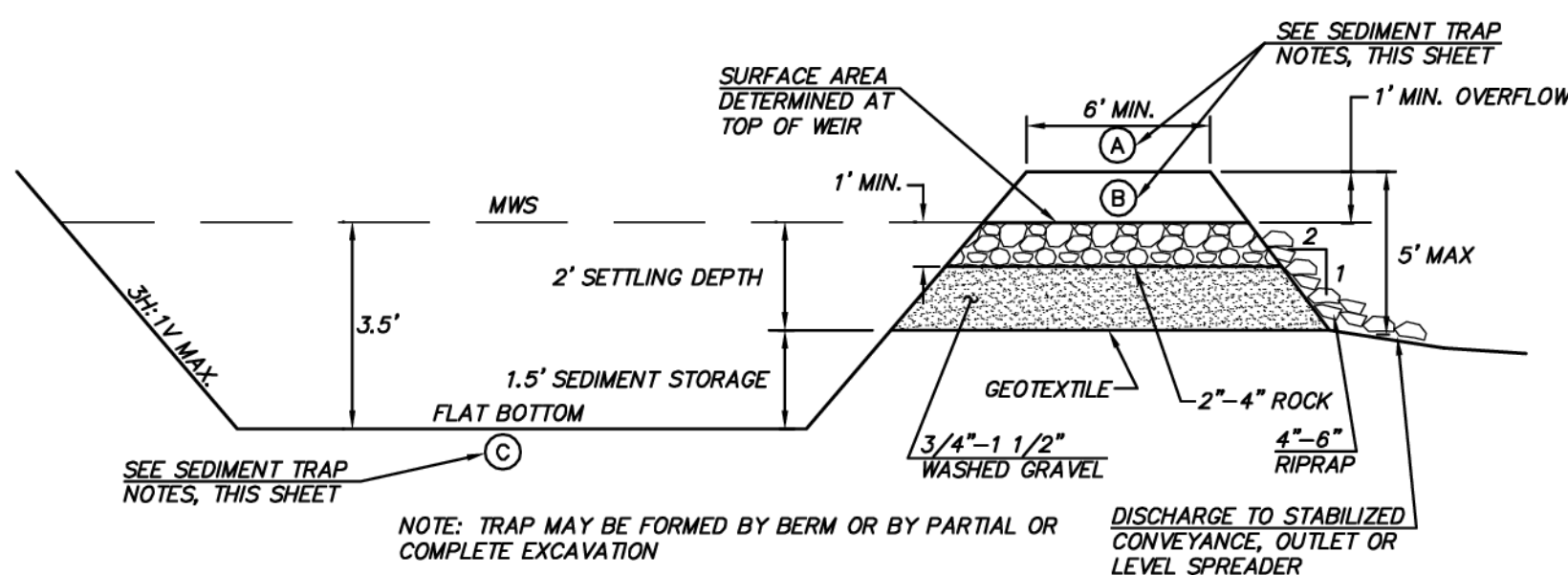
SILT FENCE
(NOT TO SCALE)

CSWPP & SPILL PREVENTION NOTES

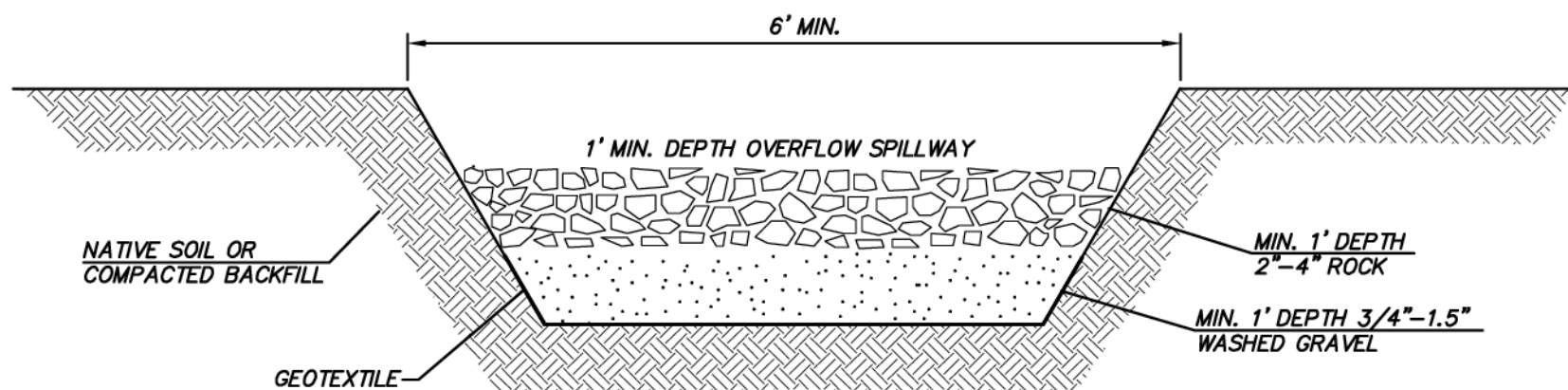
- LIQUID POLLUTANTS SUCH AS PETROLEUM PRODUCTS, FUEL, SOLVENTS, DETERGENTS, PAINTS, PESTICIDES, CONCRETE ADMIXTURES, FORM OILS, ETC. SHALL NOT BE STORED ON SITE.
- CONSTRUCTION MATERIALS AND WASTES SHALL BE STORED AT THE DESIRED STOCKPILE AREA.
- REFUELING SHALL BE PROVIDED BY A FUELING TRUCK. NO FUEL SHALL BE STORED ON SITE.
- VEHICLE MAINTENANCE AND REPAIRS SHALL BE DONE OFFSITE TO THE EXTENT FEASIBLE. IF TEMPORARY WORK IS CONDUCTED ONSITE IT SHALL BE DONE IN ACCORDANCE WITH THE CONTRACTOR'S SITE SPECIFIC SPILL PREVENTION PLAN WHICH, AT A MINIMUM, SHALL OUTLINE MEASURES TO (A) PREVENT CONTAMINATION OF THE ENVIRONMENT (WATER, AIR, SOIL, ETC) (B) ENSURE ONSITE WORKERS ARE TRAINED IN THE PROPER HANDLING, STORAGE, DISPOSAL, AND EMERGENCY CLEAN UP OF VEHICLE AND EQUIPMENT FLUIDS.
- CONCRETE WASTE SHALL BE HANDLED AS LISTED:
 - UNUSED CONCRETE REMAINING IN THE TRUCK AND PUMP SHALL BE RETURNED TO ORIGINATING BATCH PLANT FOR RECYCLING.
 - CONCRETE TRUCK CHUTES, PUMPS, INTERNALS, HAND TOOLS, ETC SHALL BE WASHED OFF ONLY INTO FORMED AREAS AWAITING INSTALLATION OF CONCRETE OR ASPHALT OR IN DESIGNATED WASH OUT AREAS.
 - WHEN NO FORMED AREAS ARE AVAILABLE, CONCRETE WASTE SHALL BE DISCHARGED TO A PAVED OR LINED SUMP (WASH OUT AREA). LOCATION OF SUMP TO BE DETERMINED BY EROSION CONTROL SUPERVISOR. WASTE WATER WITHIN THE SUMP SHALL EITHER BE NEUTRALIZED PRIOR TO DISCHARGE TO THE SEDIMENTATION FACILITY OR DISPOSED OF IN A MANNER THAT DOES NOT VIOLATE GROUNDWATER OR SURFACE WATER QUALITY STANDARDS.
 - EQUIPMENT THAT CANNOT BE EASILY MOVED, SUCH AS CONCRETE PAVERS, SHALL ONLY BE WASHED IN AREAS THAT DO NOT DIRECTLY DRAIN TO NATURAL OR CONSTRUCTED STORMWATER CONVEYANCES.
- SLURRY, CUTTINGS, AND PROCESS WATER FROM SAWCUTTING AND SURFACING SHALL BE DISCHARGED TO FORMED AREAS AWAITING INSTALLATION OF CONCRETE OR ASPHALT OR TO PAVED OR LINED SUMP.
- PH NEUTRALIZATION SHALL BE USED WHEN PH LEVELS IN STORMWATER RISE ABOVE 8.5. STORMWATER WITH PH LEVELS EXCEEDING WATER QUALITY STANDARDS MAY BE TREATED BY DOE BMPS SUCH AS INFILTRATION, DISPERSION IN VEGETATION OR COMPOST, PUMPING TO A SANITARY SEWER, DISPOSAL AT A PERMITTED CONCRETE BATCH PLANT WITH PH NEUTRALIZATION CAPABILITIES, OR CARBON DIOXIDE SPARGING.
- APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, SHALL BE CONDUCTED IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO STORMWATER RUNOFF. MANUFACTURERS' RECOMMENDATIONS FOR APPLICATION RATES AND PROCEDURES SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL DESIGNATE A PERSON AS THE RESPONSIBLE REPRESENTATIVE IN CHARGE OF EROSION CONTROL AND MAINTENANCE OF ALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION FACILITIES.



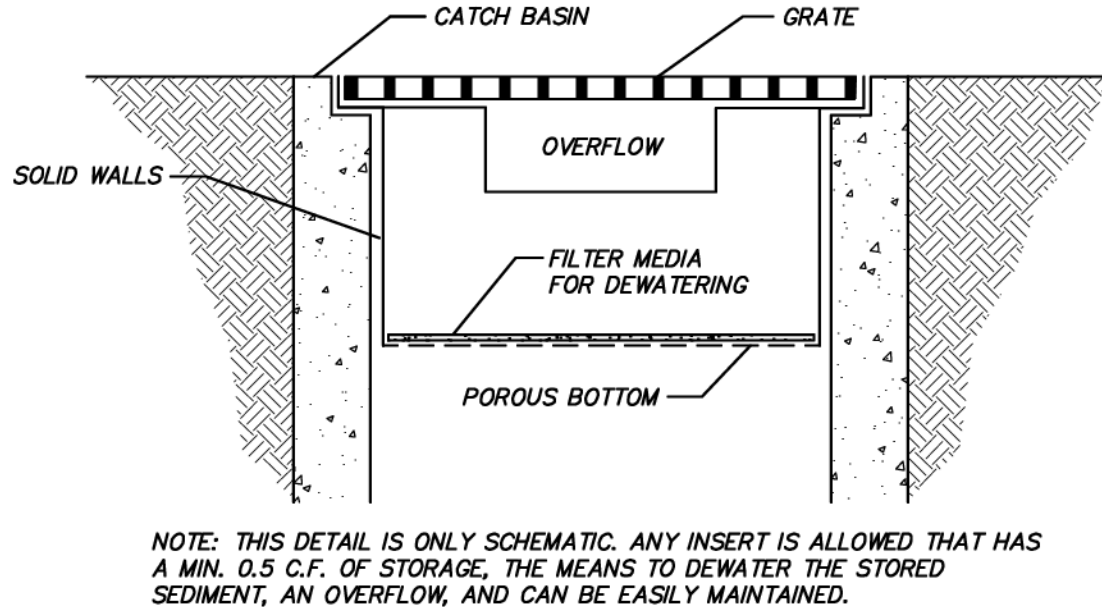
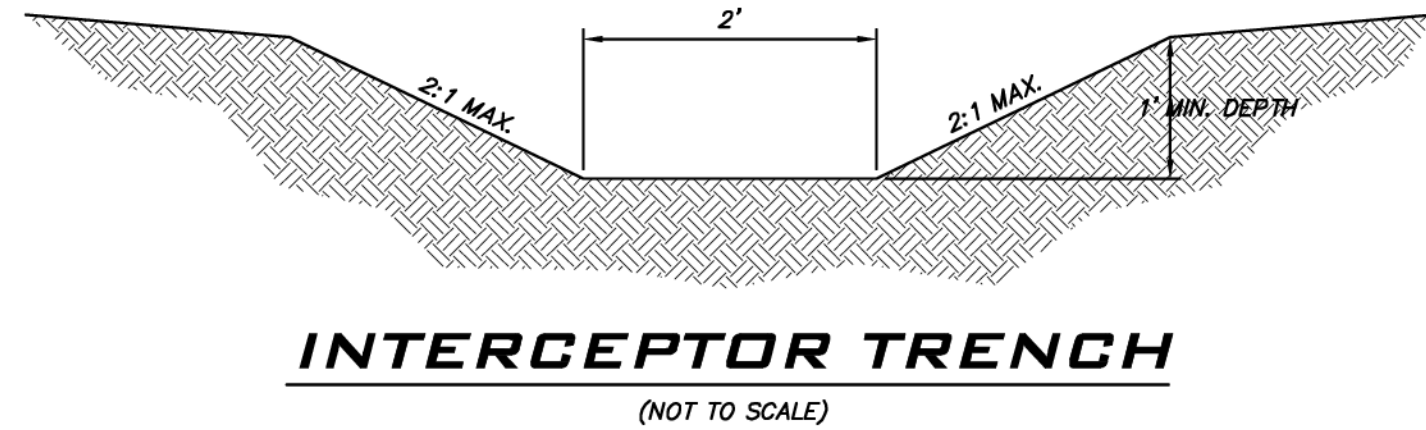
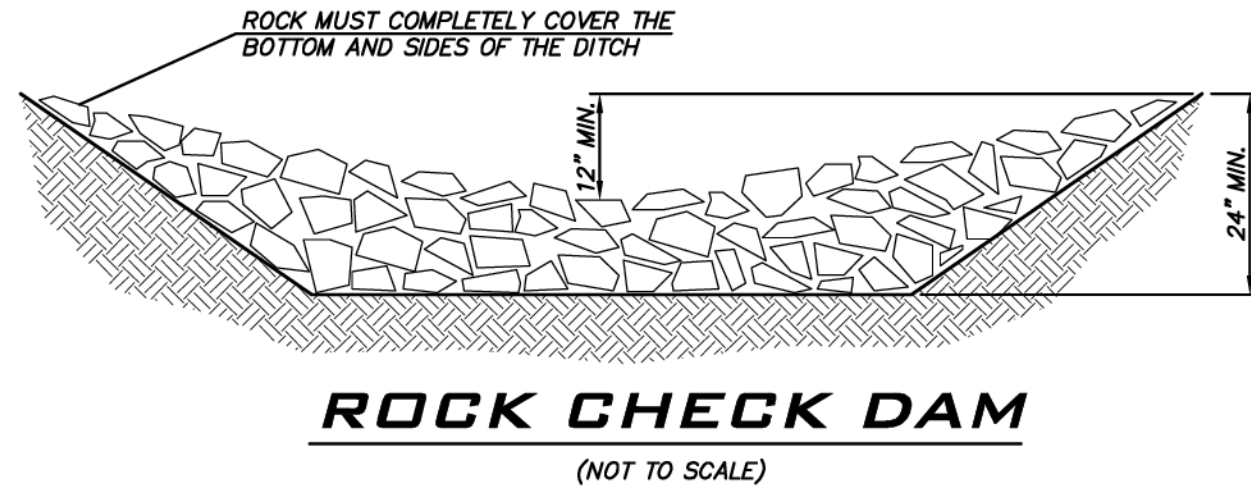
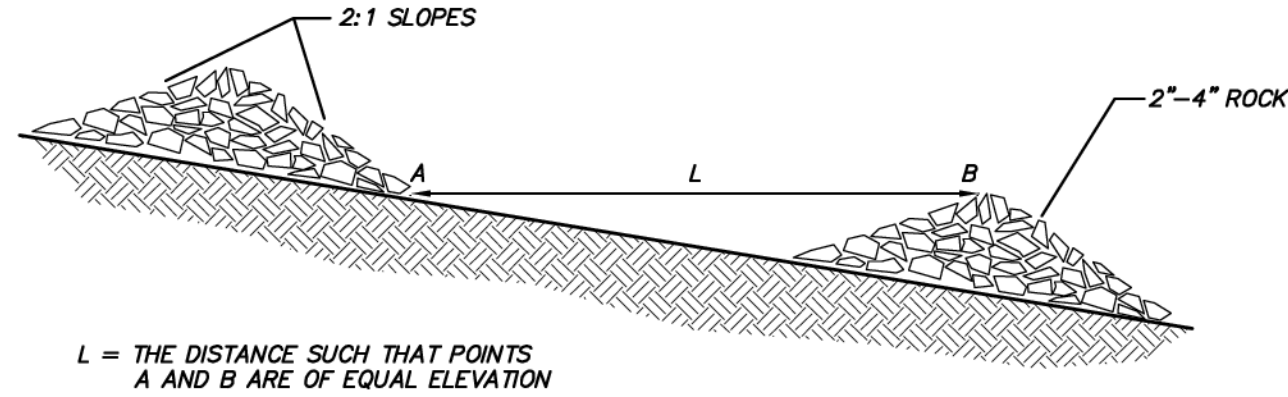
STABILIZED CONSTRUCTION ENTRANCE
(NOT TO SCALE)



TEMPORARY SEDIMENT TRAP
(NOT TO SCALE)



SEDIMENT TRAP OUTLET
(NOT TO SCALE)



CATCH BASIN INSERT
(NOT TO SCALE)

SEDIMENT TRAP NOTES

	TRAP 1	TRAP 2
ELEVATION (A) TOP OF BERM	2123	2125
ELEVATION (B) TOP OF SPILLWAY	2122	2124
ELEVATION (C) BOTTOM	2118.5	2120.5

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TESC DETAILS

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CITY OF GLE ELUM

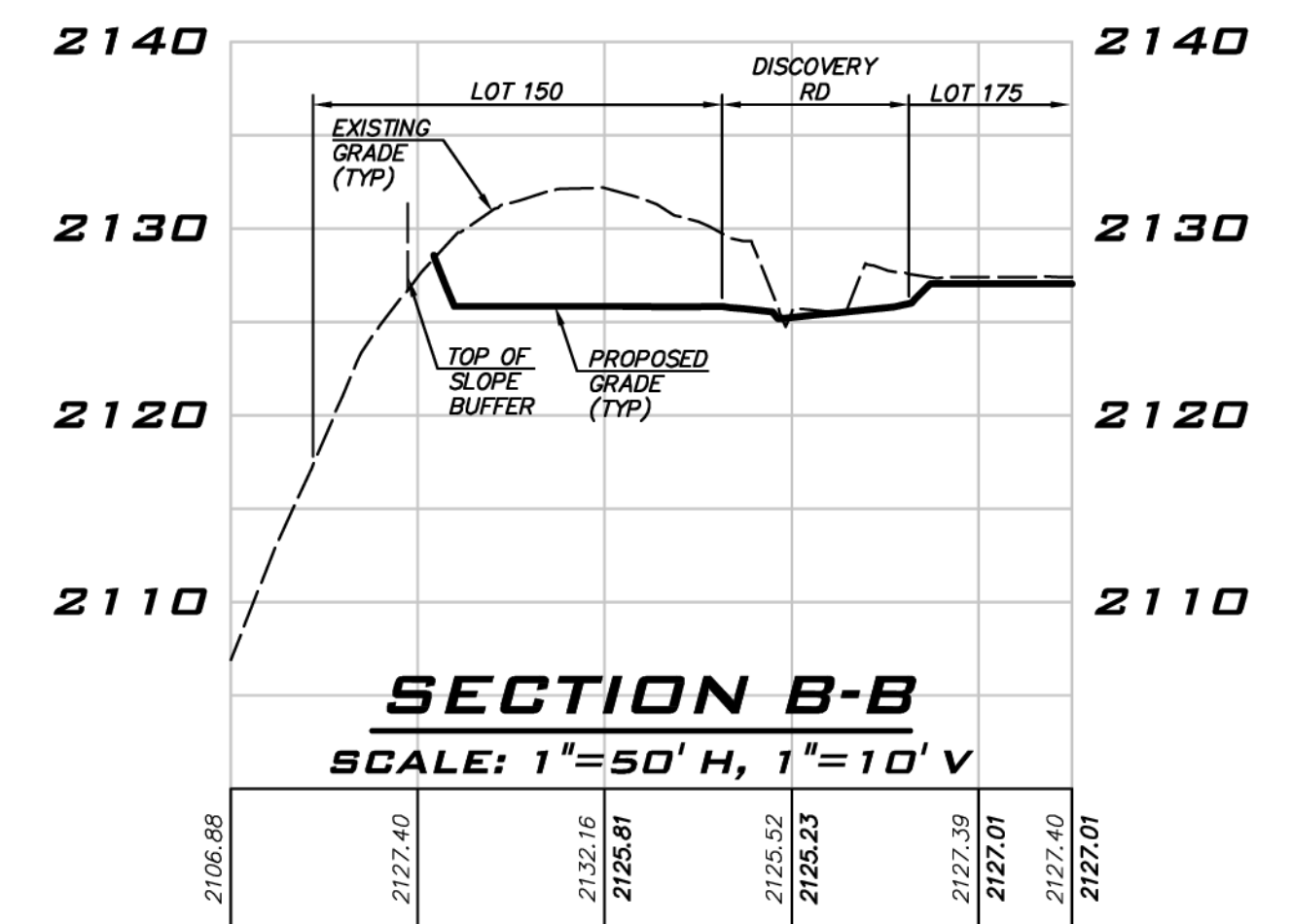
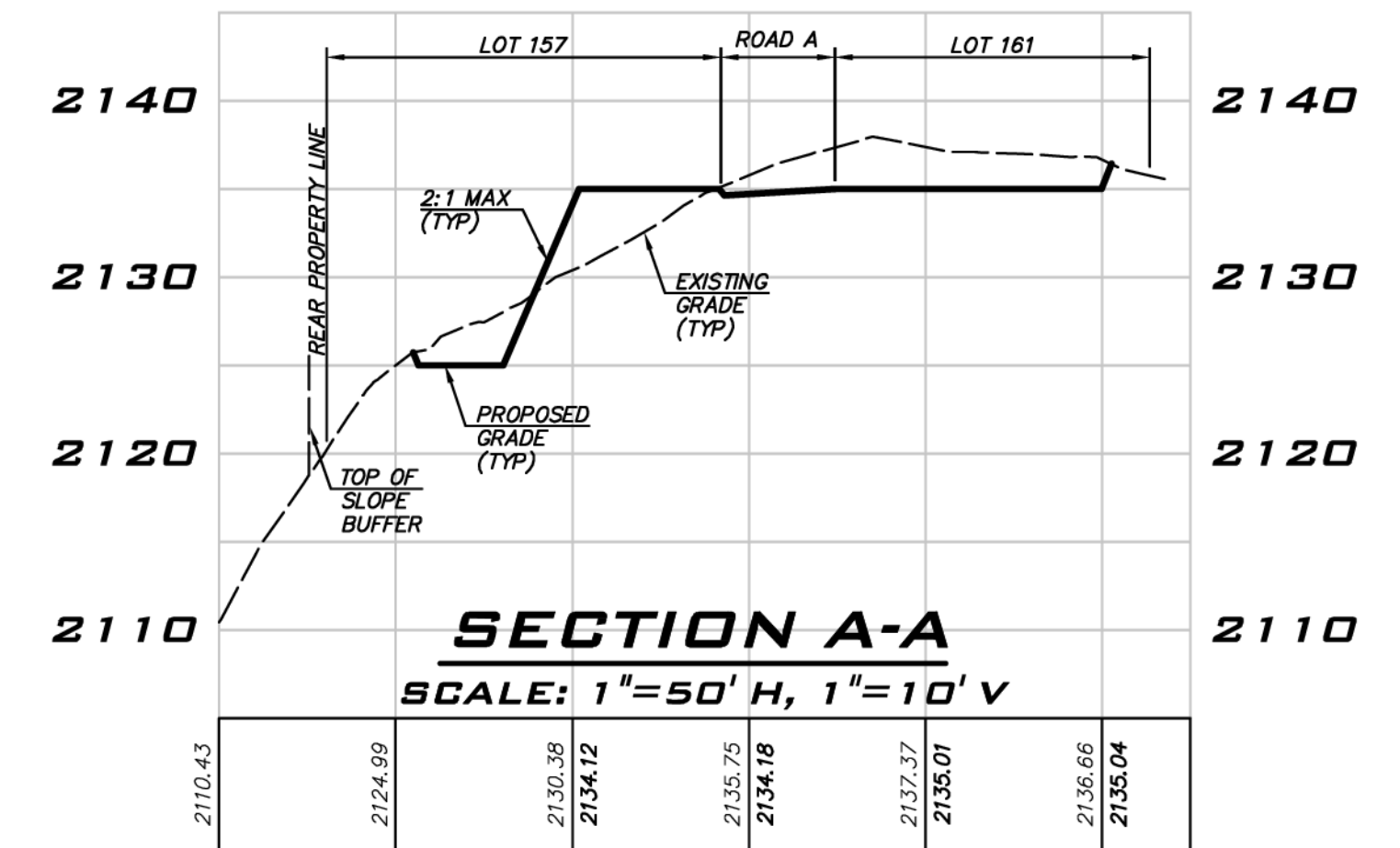
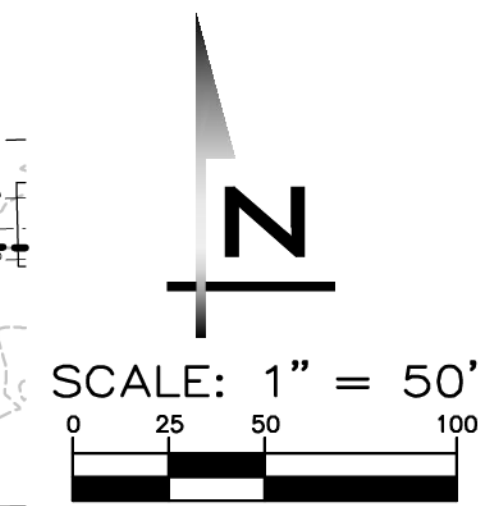
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SHEET NAME:
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SHT 5 OF 15



NOTE
SEE SHEET RD-01 FOR TYPICAL ROADWAY SECTIONS.

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- PER APPENDIX G OF THE DA NO CLEARING OR GRADING SHALL OCCUR WITHIN 2' FROM THE TOE OF SLOPES EXCEEDING 35% UNLESS OTHERWISE RECOMMENDED BY THE PROJECT GEOTECH AND APPROVED BY THE CITY.
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- STEEP SLOPE SETBACKS AND RELATED CLEARING AND GRADING RESTRICTIONS TO BE SHOWN ON THE FINAL PLAT MAP.

EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE RECORDS AND PROTECTION OF UTILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

APPROX GRADING QUANTITIES

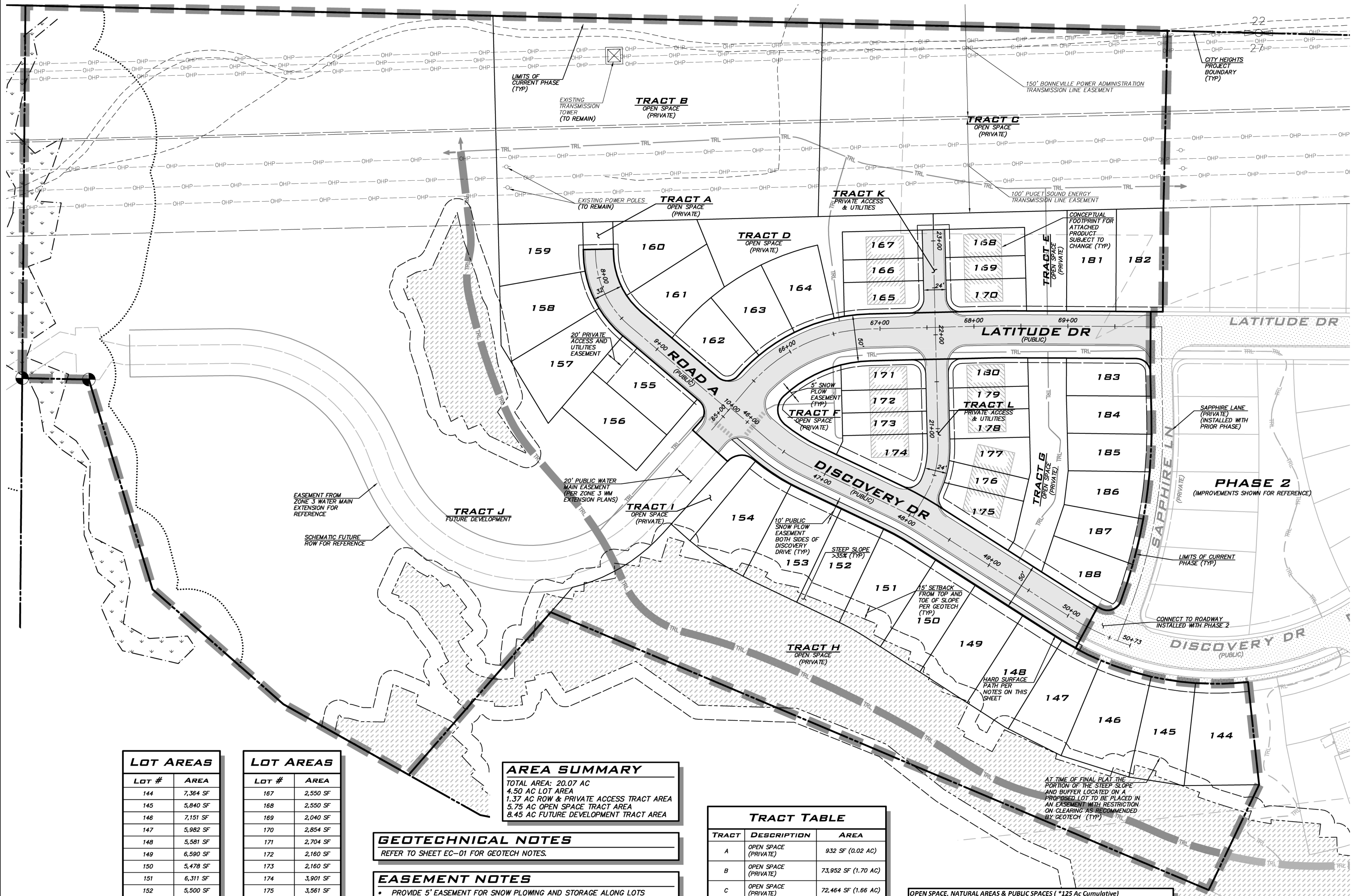
CUT: 13,310 CY
FILL: 3,110 CY
NET: 10,200 CY CUT

NOTE: QUANTITIES ARE APPROXIMATE AND WERE CALCULATED AS THE DIFFERENCE BETWEEN EXISTING GRADE AND PROPOSED GRADE. IMPACTS OF OTHER FACTORS SUCH AS SUBGRADE, PAVING MATERIALS, PIPE BACKFILL, ETC TO BE CONSIDERED BY CONTRACTOR.

GRADING NOTES

- MAX SLOPE OF PERMANENT GRADES TO BE 2:1.
- LOT AREAS OUTSIDE OF STEEP SLOPE BUFFERS TO BE SUBJECT TO GRADING.
- PERMANENT DISTURBED SLOPES TO BE RE-VEGETATED TO PREVENT EROSION
RELATED CONCERNS USING REGION SPECIFIC HYDRO SEED MIX OR ALTERNATE
VEGETATION COVERAGE COVER AND PLANTINGS AS SPECIFIED BY THE
PROJECT LANDSCAPE ARCHITECT.
- INTERIM SLOPES AND DISTURBED AREAS TO BE HYDROSEEDED UNTIL
PERMANENT COVER IS INSTALLED.





LOT AREAS	
LOT #	AREA
144	7,364 SF
145	5,840 SF
146	7,151 SF
147	5,982 SF
148	5,581 SF
149	6,590 SF
150	5,478 SF
151	6,311 SF
152	5,500 SF
153	6,749 SF
154	6,249 SF
155	5,200 SF
156	5,200 SF
157	6,507 SF
158	6,288 SF
159	5,337 SF
160	5,266 SF
161	4,989 SF
162	4,197 SF
163	4,358 SF
164	4,358 SF
165	2,858 SF
166	2,040 SF

LOT AREAS	
LOT #	AREA
167	2,550 SF
168	2,550 SF
169	2,040 SF
170	2,854 SF
171	2,704 SF
172	2,160 SF
173	2,160 SF
174	3,901 SF
175	3,561 SF
176	2,077 SF
177	2,918 SF
178	2,574 SF
179	2,040 SF
180	2,573 SF
181	5,675 SF
182	5,482 SF
183	3,532 SF
184	3,626 SF
185	3,535 SF
186	3,748 SF
187	3,704 SF
188	4,449 SF

AREA SUMMARY
 TOTAL AREA: 20.07 AC
 4.50 AC LOT AREA
 1.37 AC ROW & PRIVATE ACCESS TRACT AREA
 5.75 AC OPEN SPACE TRACT AREA
 8.45 AC FUTURE DEVELOPMENT TRACT AREA

REFER TO SHEET EC-01 FOR GEOTECH NOTES.

- PROVIDE 5' EASEMENT FOR SNOW PLOWING AND STORAGE ALONG LOTS FRONTING ONSITE ROADS UNLESS OTHERWISE NOTED.
- PROVIDE 10' EASEMENT FOR SNOW PLOWING AND STORAGE ALONG LOTS FRONTING DISCOVERY DRIVE.

- 5' BUILDING SETBACK FROM ALL LOT LINES TO BE DEPICTED ON FINAL PLAT.
- 5' SIDE YARD SETBACK MAY BE ELIMINATED FOR ZERO LOT LINE ATTACHED PRODUCT.

- UNLESS OTHERWISE NOTED, TRACT ROADS WILL BE PRIVATELY OWNED AND MAINTAINED AND WILL INCLUDE A PUBLIC ACCESS EASEMENT TO ACCOMMODATE EMERGENCY VEHICLES.
- ROADS IN RIGHT OF WAY ARE LOCAL EXCEPT DISCOVERY DRIVE WHICH IS A COLLECTOR.

TRACT TABLE		
TRACT	DESCRIPTION	AREA
A	OPEN SPACE (PRIVATE)	932 SF (0.02 AC)
B	OPEN SPACE (PRIVATE)	73,952 SF (1.70 AC)
C	OPEN SPACE (PRIVATE)	72,464 SF (1.66 AC)
D	OPEN SPACE (PRIVATE)	9,682 SF (0.22 AC)
E	OPEN SPACE (PRIVATE)	6,350 SF (0.15 AC)
F	OPEN SPACE (PRIVATE)	4,360 SF (0.10 AC)
G	OPEN SPACE (PRIVATE)	8,901 SF (0.20 AC)
H	OPEN SPACE (PRIVATE)	71,565 SF (1.64 AC)
I	OPEN SPACE (PRIVATE)	2,610 SF (0.06 AC)
J	FUTURE DEVELOPMENT	368,148 SF (8.45 AC)
K	PRIVATE ACCESS & UTILITIES	2,209 SF (0.05 AC)
L	PRIVATE ACCESS & UTILITIES	3,792 SF (0.09 AC)

OPEN SPACE, NATURAL AREAS & PUBLIC SPACES (*125 Ac Cumulative)			
Phase	Tract Name	Area (Ac)	Designation/Description
	A	0.02	OPEN SPACE
4	B	1.70	OPEN SPACE
4	C	1.66	OPEN SPACE
4	D	0.22	OPEN SPACE
4	E	0.15	OPEN SPACE
4	F	0.10	OPEN SPACE
4	G	0.20	OPEN SPACE
4	H	1.64	OPEN SPACE
4	I	0.06	OPEN SPACE
Phase 4 Total		5.75	
Phase 3 Total		0.48	
Phase 2 Total		10.76	
Phase 1 Total		18.32	
Current Total		35.31	
*Per DA Appendix B and H, 125 Acres (35% of total site acreage)			
to be set aside as open space, natural areas, parks, recreation areas, village greens, commons or public assembly areas or otherwise undeveloped space.			

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SCALE:
AS NOTED

PROJECT MANAGER:
BRETT K PUDISTS, PE

PROJECT ENGINEER:
DENE KUZARO, PE

DESIGNER:
LARON LANCE

ISSUE DATE:
1/2/2023

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ROAD DETAILS

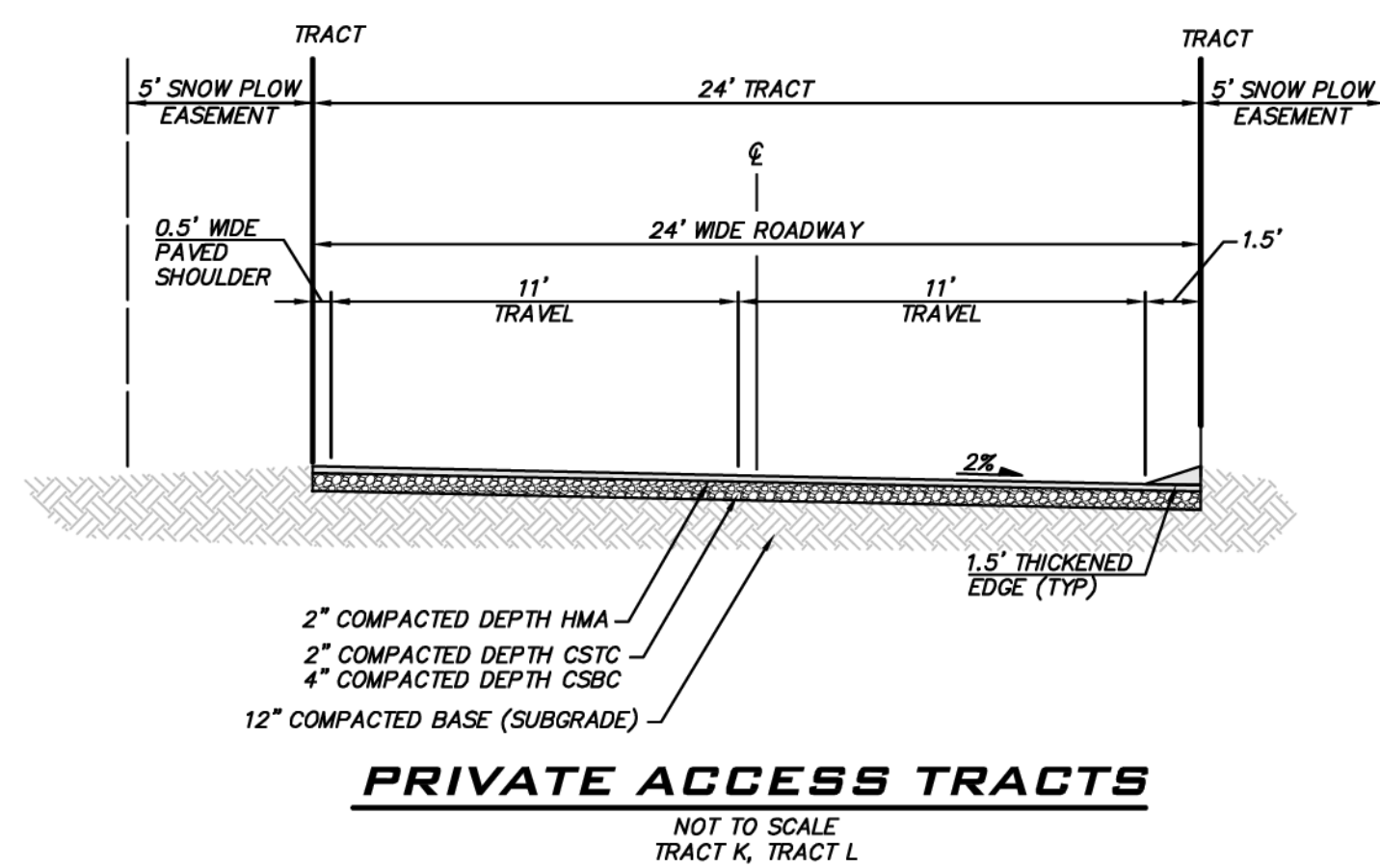
CITY HEIGHTS

PHASE 4 PRELIMINARY

CLEARING, GRADING & INFRASTRUCTURE PLANS

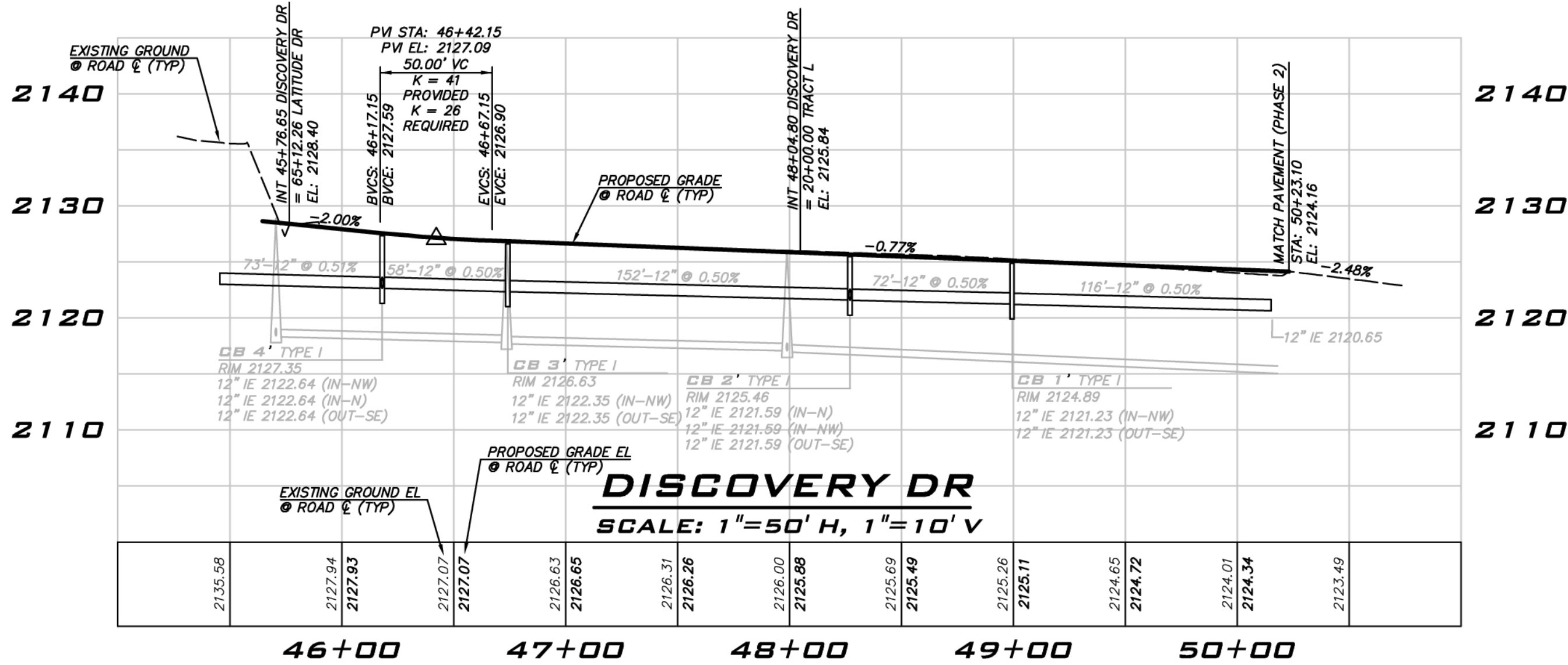
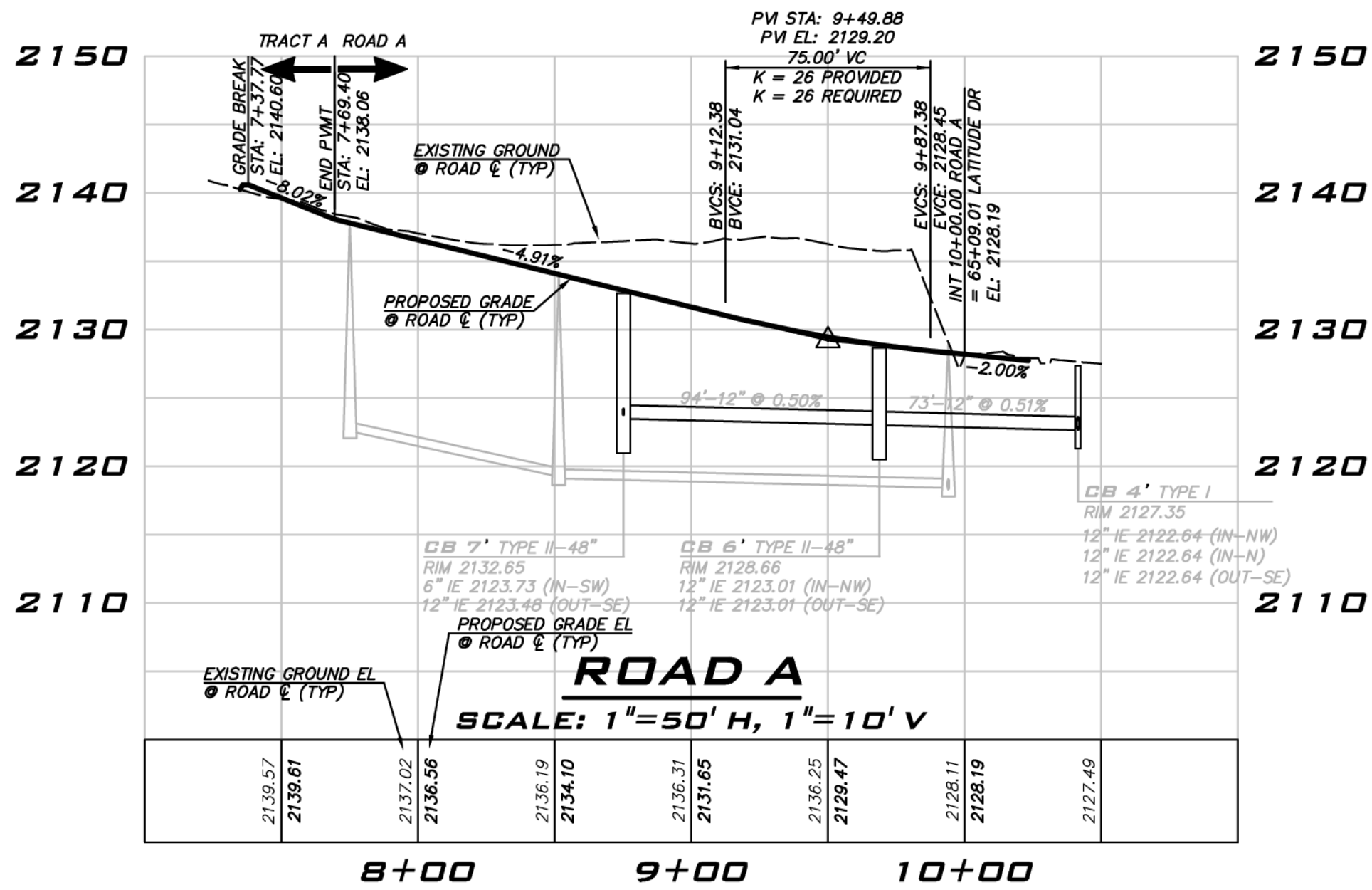
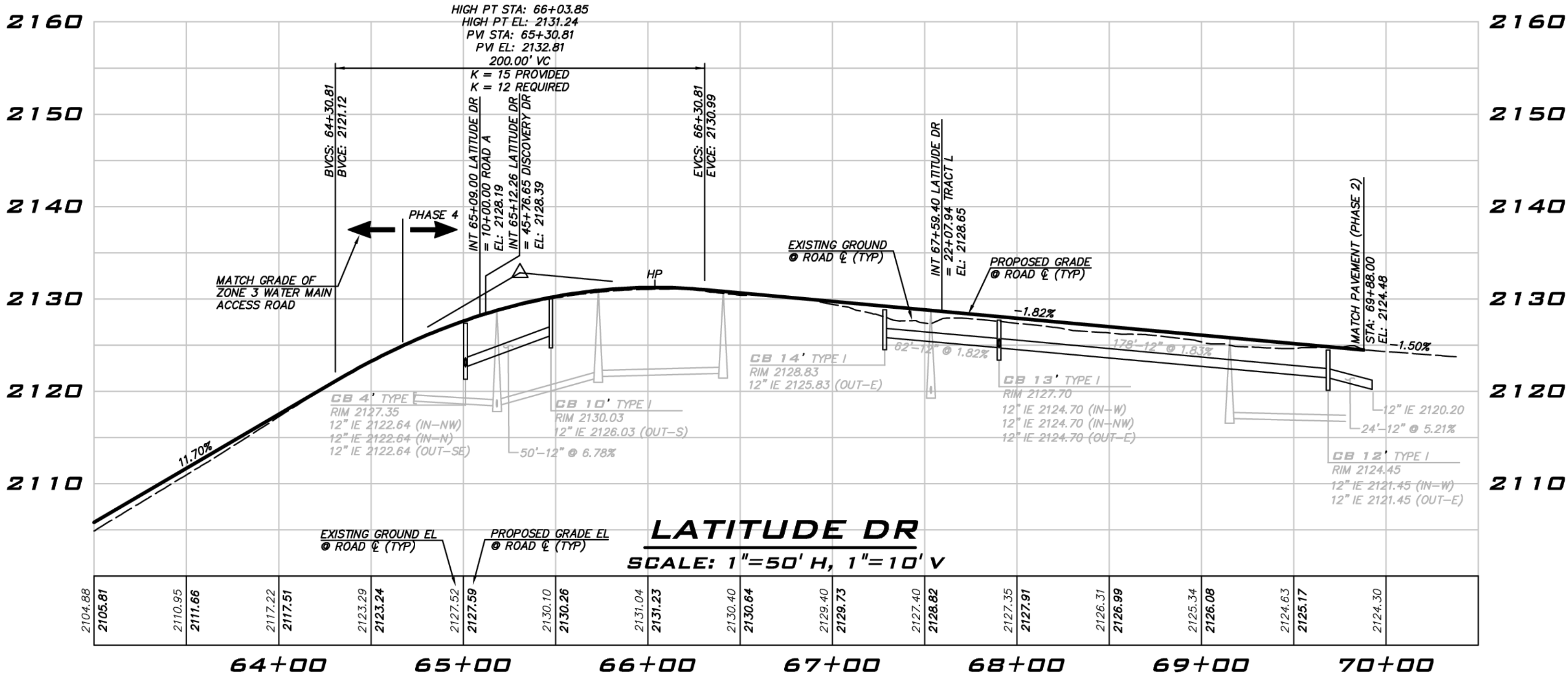
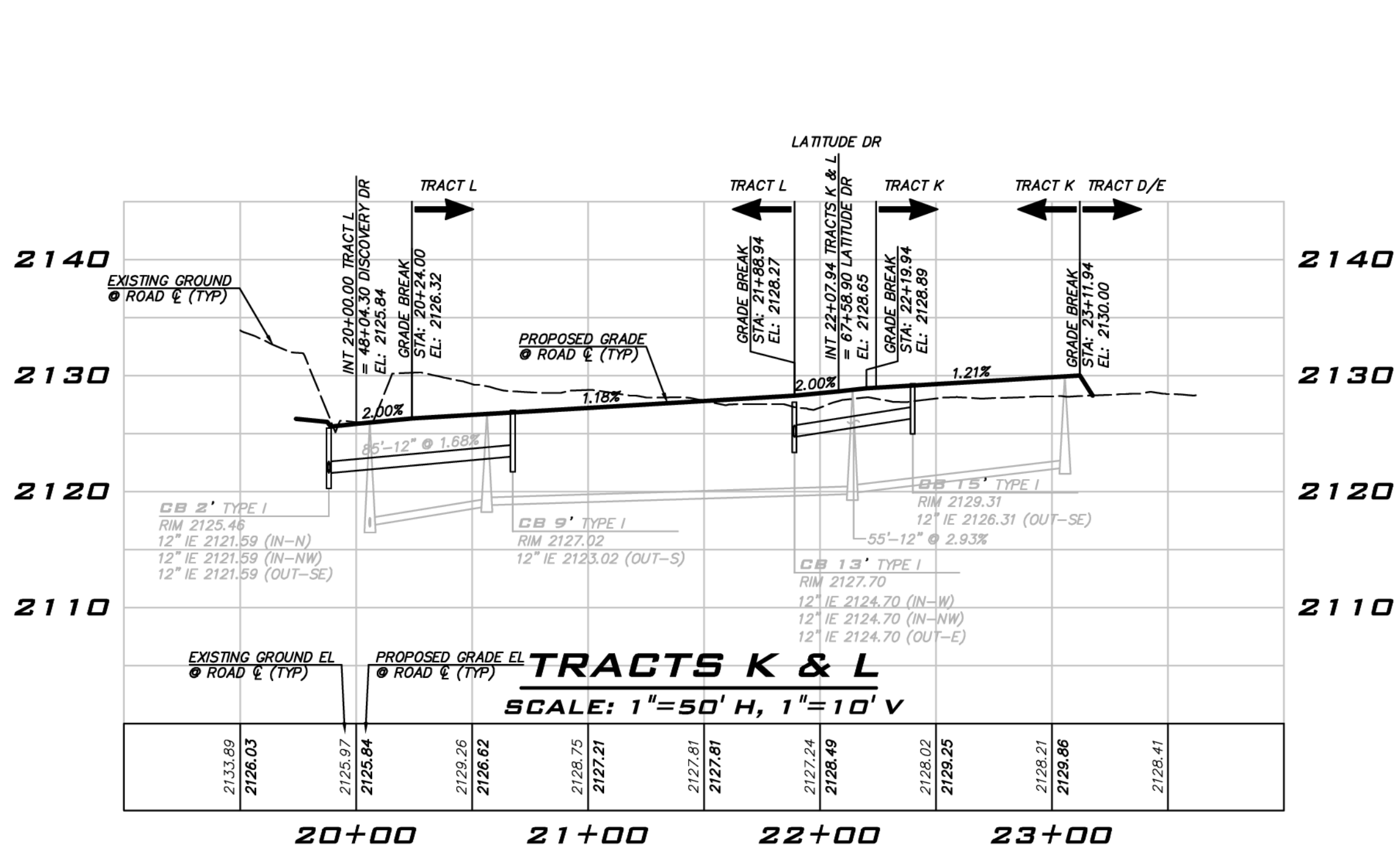


3/2/23
JOB NUMBER:
19-349
SHEET NAME:
RD-01
SHEET **9** OF **15**



- ALL DEPTHS ARE MINIMUM COMPUTED DEPTHS.
- SUBGRADE TO BE PREPARED BASED ON RECOMMENDATIONS FROM GEOTECH DURING CONSTRUCTION.
- ROADS TO BE PUBLIC UNLESS OTHERWISE NOTED.

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EXISTING UTILITY NOTE

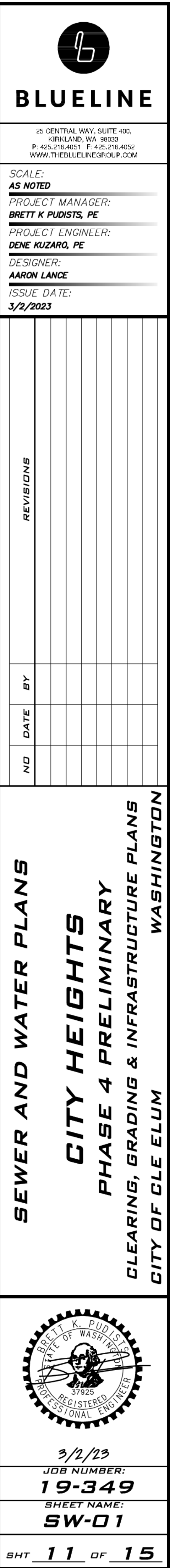
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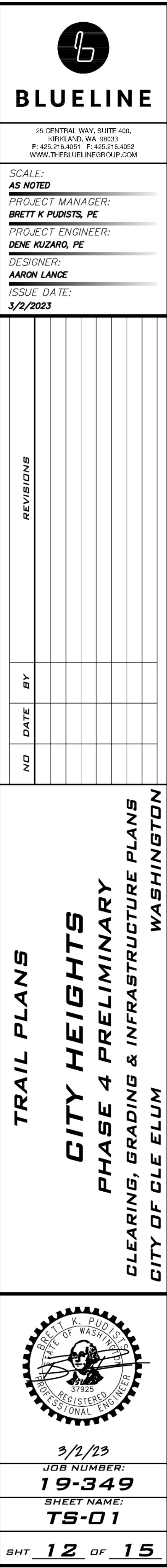
ROAD & STORM PROFILES
CITY HEIGHTS
PHASE 4 PRELIMINARY
CLEARING, GRADING & INFRASTRUCTURE PLANS
CITY OF GLE ELUM
WASHINGTON

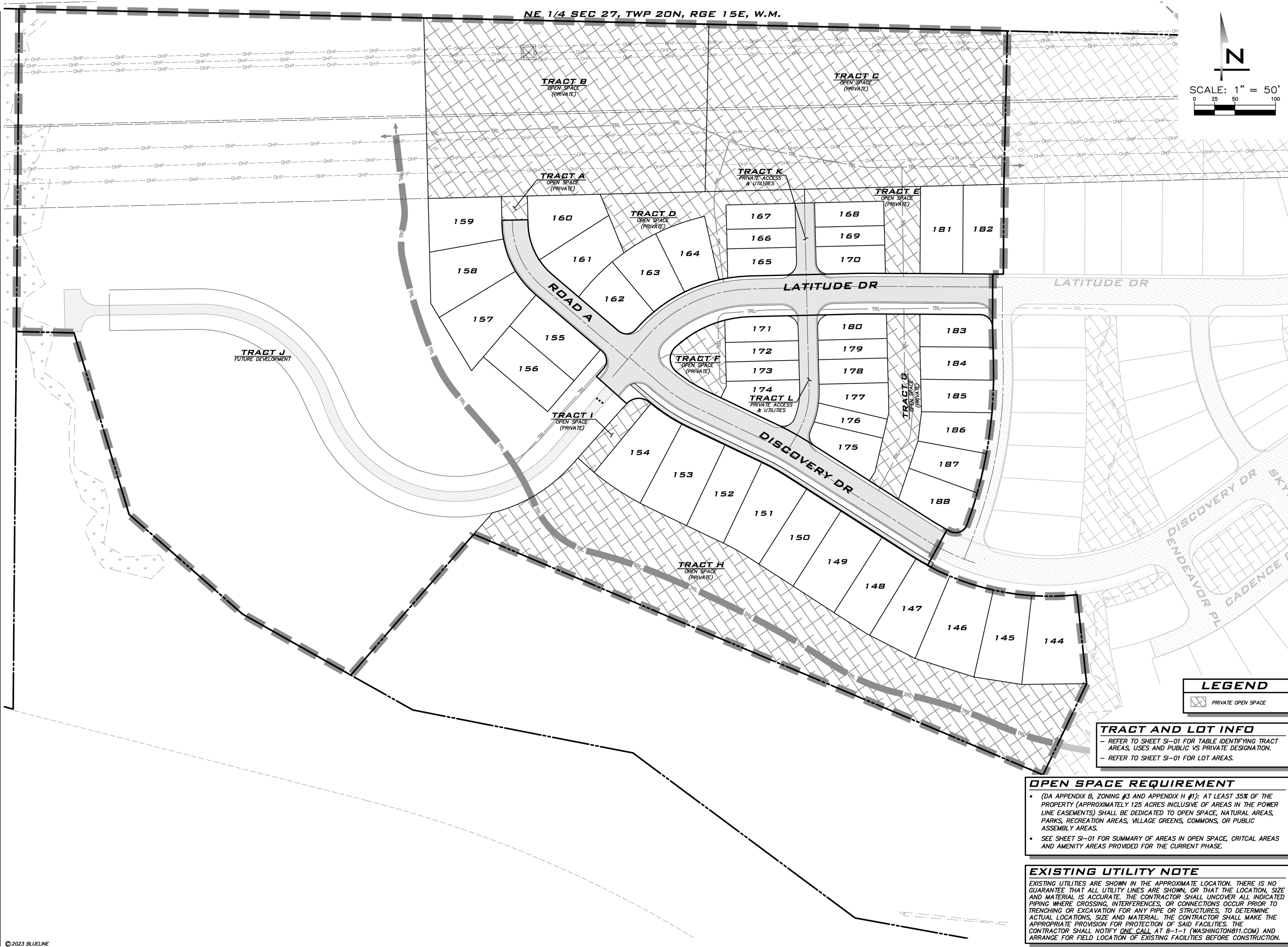


3/2/23
JOB NUMBER:
19-349
SHEET NAME:
RP-01

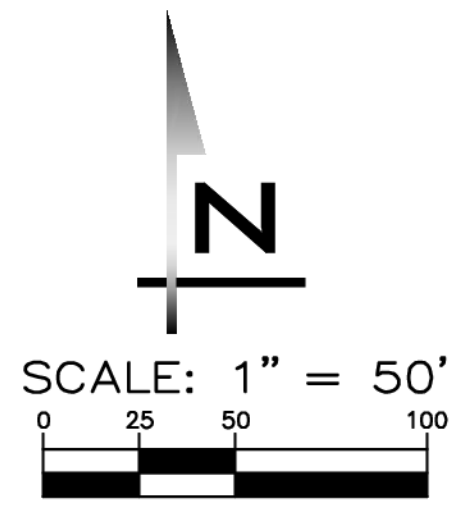
SHT **10** OF **15**







NE 1/4 SEC 27, TWP 20N, RGE 15E, W.M.



SCALE: 1" = 50'



TRACT AND LOT INFO
- REFER TO SHEET SI-01 FOR TABLE IDENTIFYING TRACT AREAS, USES AND PUBLIC VS PRIVATE DESIGNATION.
- REFER TO SHEET SI-01 FOR LOT AREAS.

OPEN SPACE REQUIREMENT

- (DA APPENDIX B, ZONING #3 AND APPENDIX H #1): AT LEAST 35% OF THE PROPERTY (APPROXIMATELY 125 ACRES INCLUSIVE OF AREAS IN THE POWER LINE EASEMENTS) SHALL BE DEDICATED TO OPEN SPACE, NATURAL AREAS, PARKS, RECREATION AREAS, VILLAGE GREENS, COMMONS, OR PUBLIC ASSEMBLY AREAS.
- SEE SHEET SI-01 FOR SUMMARY OF AREAS IN OPEN SPACE, CRITICAL AREAS AND AMENITY AREAS PROVIDED FOR THE CURRENT PHASE.

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25 CENTRAL WAY, SUITE 400,
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SCALE:
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PROJECT MANAGER:
BRETT K PUDISTS, PE

PROJECT ENGINEER:
DENE KUZARO, PE

DESIGNER:
AARON LANCE

ISSUE DATE:
3/2/2023

REVISIONS	
NO	DATE
BY	

OPEN SPACE PLAN

CITY HEIGHTS

PHASE 4 PRELIMINARY

CLEARING, GRADING & INFRASTRUCTURE PLANS

CITY OF GLE ELUM

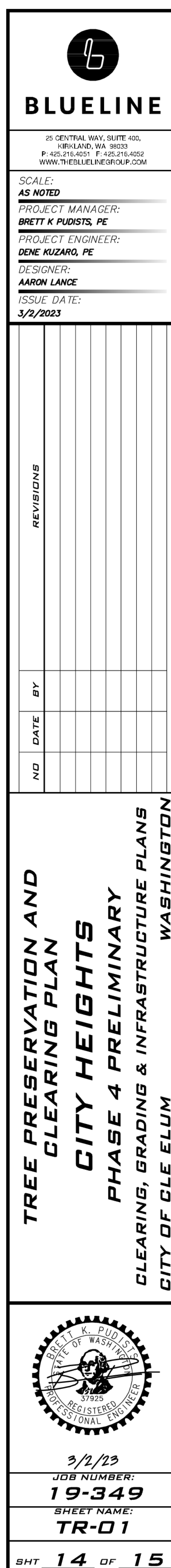
WASHINGTON

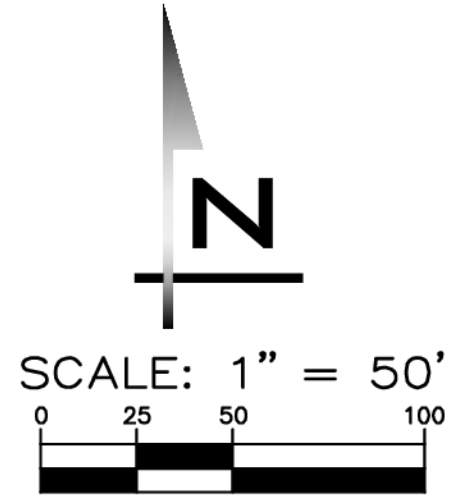
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JOB NUMBER:
19-349

SHEET NAME:
OS-01

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PHASE 4 BOUNDARY

PROPOSED LOCATION OF LANDSCAPE TREES IS DIAGRAMMATIC AND SUBJECT TO CHANGE TO ACCOMMODATE SITE ELEMENTS.

PLANT SCHEDULE

	EVERGREEN TREES	19
	Abies grandis / Grand Fir	
	Abies lasiocarpa / Subalpine Fir	
	Larix occidentalis / Western Larch	
	Picea abies / Norway Spruce	
	Pinus contorta var. latifolia / Lodgepole Pine	
	Pinus ponderosa / Ponderosa Pine	
	Tsuga heterophylla / Western Hemlock	
	DECIDUOUS TREES	37
	Acer glabrum / Rocky Mountain Maple	
	Amelanchier alnifolia / Serviceberry	
	Populus tremuloides / Quaking Aspen	
	Sorbus aucuparia / European Mountain Ash	
	GRASS SEED MIX	21,367 sf
	Festuca idahoensis / Idaho Fescue	
	Festuca longifolia / Hard Fescue	
	Festuca ovina / Sheep Fescue	
	Festuca rubra / Red Fescue	

LANDSCAPE NOTES

- REFER TO DA APPENDIX B SECTION 9 FOR LANDSCAPING REQUIREMENTS.
- CCR'S SHALL BE ESTABLISHED THAT PROVIDE FOR REVEGETATION OF DISTURBED AREAS, PREVENTION OF NOXIOUS WEEDS, PROHIBIT HUNTING AND DISCHARGE OF FIREARMS AND REQUIRE WILDLIFE PROOF GARBAGE CANS. REFER TO DA APPENDIX H #3 FOR REQUIREMENTS.
- STREET TREE LOCATIONS ARE CONCEPTUAL AND MAY BE IMPACTED BY UTILITIES AND/OR ACCESS.
- SEE SHEETS TS-01 AND OS-01 FOR ADDITIONAL TRAILS AND OPEN SPACE INFORMATION.

UNDERGROUND UTILITY NOTE

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BLUELINE

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P: 425.216.4051 F: 425.216.4052
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SCALE:

AS NOTED

PROJECT MANAGER:

BRETT PUDISTS, PE

PROJECT LA:

ALAN MCWAIN, PLA

DESIGNER:

SCOTT EVANS, PLA

ISSUE DATE:

3/2/2023

REVISIONS

BY

DATE

NO

NO

LANDSCAPE PLAN

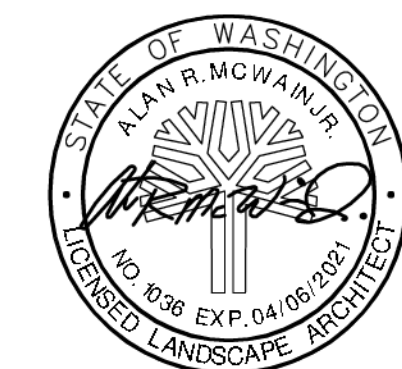
CITY HEIGHTS

PHASE 4 PRELIMINARY

CLEARING, GRADING & INFRASTRUCTURE PLANS

CITY OF GLE ELUM

WASHINGTON



3/2/23

JOB NUMBER:

19-349

SHEET NAME:

LS-01

SHT 15 OF 15